



# City of Miami

## ADDENDUM NO. 2

September 5, 2019

INVITATION TO BID ("ITB"): 18-19-026

### **KENNEDY PARK RESTROOM BUILDING - D2 B-35838**

**TO: ALL PROSPECTIVE BIDDERS:**

The following changes, additions, clarifications, and/or deletions amend the above-captioned Invitation to Bid, and shall become an integral part of the Proposals submitted, and the Contract to be executed for **Kennedy Park Restroom Building – D2 – Invitation To Bid ("ITB") No.: 18-19-026 (the "Project")**. Please note the contents herein and affix same to the documents you have on hand.

**All attachments (if any) are available on the Office of Capital Improvement's (OCI) website and are part of this Addendum.**

**RESPONSES TO REQUESTS FOR INFORMATION (RFIs):**

Q1. a) Is there an asbestos survey available? b) If not, will an asbestos survey be required for the Demo permit?

A1. a) There is no asbestos survey currently available; b) Yes, an asbestos survey will be required for the demolition permit, and the City shall provide said asbestos survey to the contractor after award of the Project.

---

Q2. Are the existing Buildings on piles? If so, do they need to be removed?

A2. Site conditions shall be field verified to determine if piles are used for the existing structure. If field verification confirms the existence of piles, the Contractor shall remove them so that they will not conflict with construction of the new restroom building.

---

Q3. Is the relocation of the fence abutting playground by the contractor or the City?

A3. Relocation of the fence to be carried out by the contractor.

---

Q4. Sheet AS100 calls for the removal of a trailer (5) and a unisex bathroom (6). Are these to be removed by the contractor or the City?

A4. Items to be removed by the City, in coordination with the Contractor.

---

Q5. Sheet A101 depicts an exterior showerhead (6); however, the plumbing sheets do not show it on the fixture schedule or show how it is connected. Please clarify.

- A5. Plumbing drawings to be revised to show connection.
- 
- Q6. Please provide specs for "Non-absorbent Surface" at shower head wall.
- A6. The restroom facility utilizes a stucco finish where the showerhead is located. The wall adjacent to the showerhead shall be finished and sealed in the same manner as required by the remainder of the building envelope.
- 
- Q7. Please provide specs for epoxy flooring.
- A7. Please refer to Specification Section 09905 from the Project Manual.
- 
- Q8. Sheet A101 shows different size louvers up to 26' long. Are these one-piece or multiple pieces? If multiple pieces, please provide size of each piece for each opening.
- A8. The louvers span single openings, and are sized to match. The span of the louvers is defined on Sheet A101. Contractor shall provide signed and sealed shop drawings.
- 
- Q9. Sheet A101 calls for doors to "provide Adequate Water Proofing Capability" to meet FEMA requirements. Please clarify "Adequate." If referring to "Flood Damage Resistant Material" (per NFIP), please specify door classification.
- A9. "Adequate water proofing capability" refers to providing doors that perform as "flood doors"; that is, the doors provide integrated flood protection in lieu of externally installed flood panels. These types of doors provide the same functionality as a regular pedestrian door, but are internally reinforced, and contain a mechanical sealing mechanism within the frame that gives a watertight seal when fully closed. Doors shall be Pedestrian Flood Doors manufactured by Flood Panel, or approved equal.
- 
- Q10. Are Cameras by Owner or Contractor? If by Contractor, please provide specs for cameras and equipment.
- A10. Cameras shall be provided by the City. Contractor shall provide conduits and coordinate with the City vendor for proper installation.
- 
- Q11. What is the Engineer's preliminary cost of the project? We need this information for our bonding company.
- A11. The Bond requirements shall cover the bid proffered plus a 10% contingency. Therefore, the Bond depends on the bid submitted by the Contractor, not on the Engineer's estimate.
- 
- Q12. Please provide a detail on the hook up to the water and sewer, as none is shown.
- A12. Existing conditions for the water and sewer system are not provided by the latest boundary survey. The Engineer of Record (EOR) has provided the stub out on Sheets P100, P101, and P200. The precise location of the connection, however, must be field verified by the contractor after award of the Project. The drawings can be coordinated in a future revision to show this connection once the existing water and sewer connections are located on the field.
- 
- Q13. Please provide a hardware schedule that matches the plans, as the one in the specs does not match the plans.
- A13. Drawings to be coordinated to match the hardware requirements for the pedestrian flood door. Please use the specifications for selecting the appropriate hardware.

Q14. There is a spec for a water fountain, but an installation location is not shown, nor the plumbing plans show how to plum the water fountain.

A14. Sheet AS101, Keynote #7, indicates to retain the existing water fountains located adjacent to the sidewalk fronting South Bayshore Drive. Only the sidewalk requires modification to connect to the new access walkway for the restrooms.

---

Q15. Architectural drawings show an outdoor shower, but it is not shown on the plumbing drawing.

A15. Plumbing sheets shall be revised and coordinated to show a water connection to the showerhead.

---

Q16. Insulation is specified, but it is not shown where it goes.

A16. The insulation shall be used in the attic space. The section graphics on Sheet A300 shall be revised and corrected to clarify this.

---

Q17. Specs call for Epoxy wall finish, but Sheet A-400, Item #14 shows block sealer and paint. Also, Sheet A 101 shows exposed painted CMU. Please clarify.

A17. Sheet A101 specifies Epoxy coated Durabond (or approved equal) as a floor finish. Walls to be specified as indicated on Contract Documents unless the City requests changes.

---

Q18. Specs Section I 0675 calls for shelving, but it is not shown on the plans.

A18. Shelving measuring 6'-6" length by 12" deep shall be installed in the storage area. Sheet A101 will be coordinated to show location in the next drawing update.

---

Q19. Fire extinguisher in specs, but not shown on plans.

A19. Fire extinguisher will be provided in the storage area. The next drawing update will show this.

---

Q20. The plans call for the new doors and frames to be 7'-10" high, but the standard size doors are 6'-8", 7'-0", or 8'-0". Please clarify.

A20. Standard 8'-0" high doors shall be used.

---

Q21. Please provide a hardware schedule that will work with the specified door schedule shown on the drawings.

A21. Door schedule on Sheet A101 shall be revised and coordinated in order to provide applicable door specifications and hardware that complies with pedestrian flood door requirements. Doors will require a latch with keyed deadbolt; however, additional door hardware shall be verified with the flood-proof door manufacturer for compliance and proper installation.

---

Q22. Per the bid documents, there are discrepancies in the specified required grout for the foundation piles:

- Based on S-6, the grout is 4,000 psi;
- Based on S-8, the grout is 5,000 psi;
- Based on the geotechnical report, the grout is 4,000 psi.

Can you confirm the psi required?

A22. Required grout shall be 4,000 PSI in accordance with Sheet S-6 and the Geotechnical Report.

- Q23. Per the bid documents, there are discrepancies in the specified required pile reinforcement:
- Based on S-6, 6 # 5 at full length, 10 # 3 ties at 6" o/c at the top of the pile, balance at 12" o/c, and 6 # 3 ties at 6" o/c at the bottom of the pile;
  - Based on S-8, 6 # 5 at full length with # 3 ties at 6" o/c for top 10' and balance at 12" o/c.

Please confirm which reinforcement should be used to bid?

- A23. Please refer to the attached revised plan sheets S-6 and S-8 reflecting coordinated information for the pile reinforcement.
- 

- Q24. Are the proposed trusses for the roof structure to be metal or steel?

- A24. Proposed trusses shall be cold-formed steel. Please refer to Sheet S-2 for notes.
- 

- Q25. There are no civil plans showing connections to main water or sewer lines. Is the contractor required to make new connections to main lines or are we using existing lines? If new is required, please indicate point of connection.

- A25. Field-verify condition of the existing lines. If the existing lines are usable, then the new facility shall be tied into the existing water supply and sanitary lines. Existing cleanouts are not indicated on the most recent boundary survey, therefore, the locations must be field verified, and/or indicated on the property survey so that the EOR can provide appropriate ties in.
- 

- Q26. Typical Keynote #4 says to coordinate extent of fence demolition with the City. How should this be quantified for the bid?

- A26. Please see Sheet AS101, which indicates the new fence layout meant to accommodate the new restroom building and burning, labeled with Key Note #8. Reviewing Sheets AS100 and AS101 in tandem will help in providing an initial quantitative analysis of the extent of demolition and relocation.
- 

- Q27. On the NE elevation on sheet A200, there is a small triangle symbol with a reference to Typical Keynote #6, but this note refers to the flood barrier wall. Can you please clarify what this symbol means?

- A27. The triangle indicates the location of a wall mounted showerhead. The keynote will be revised to indicate the correct designation.
- 

- Q28. Sheet S-1 contains a note that says that railings are by others but goes on to say that we must provide shop drawings. Is the contractor responsible for providing railings?

- A28. Contractor shall provide signed and sealed shop drawings for review and approval by EOR.
- 

- Q29. Please provide a detail on the new walking path to the bathroom. It is unclear if this is asphalt or concrete.

- A29. The new walkway shall be concrete to match the sidewalk fronting South Bayshore Drive. Details shall be coordinated with structural plans, if required, in the next revision of drawings.
- 

- Q30. Keynote #2 on AS100 says to refer to landscape plans but there are no landscaping plans provided. Is this an error or will landscaping plans be provided? Please clarify.

A30. Keynote #2 is currently obsolete and shall be removed, pending production of a certified arborist report, or comments that otherwise necessitate revisions to add a landscape plan.

---

Q31. Provide process number to estimate permit fees.

A31. Process number is BD18-016219-001.

---

Q32. Will the City of Miami provide the list of names and addresses of residents to notify as per Section 2 Notices?

A32. Yes, after award of the Project, the City shall provide the contractor with the list of names and addresses of residents to notify as per Section 2 Notices.

---

Q33. Confirm that this project has liquidated damages clause for one thousand six hundred sixty-five dollars (\$1,665) per calendar day.

A33. Yes, pursuant to Section 3, Article 3. Liquidated Damages, the liquidated damages amount equals one thousand six hundred sixty-five dollars (\$1,665) per calendar day for failure to timely achieve Substantial Completion of the contract.

---

Q34. Will a temporary trailer with utilities be required? If so, provide minimum size and location.

A34. There is an existing restroom trailer currently on site which is connected to provide the required water and sewer services for Park patron/public use. The contractor for the Project shall only provide the required restroom facilities for the construction personnel.

---

Q35. Can the experience as construction and project manager services be accepted?

A35. The minimum requirements must be met by the contractor, and not by staff members.

---

Q36. Confirm that this project has applicable Miami Dade County responsible wages.

A36. Please refer to Section 1, Article 18. Responsible Wages and Benefits

---

Q37. Confirm that Contractor shall retain the services of an independent third party to verify and certify compliance with SBE requirements during the project execution as per 16.C.

A37. Confirmed.

---

Q38. If the Contractor is a current Miami Dade County SBE, will that be acceptable to meet the 15% SBE minimum requirements?

A38. Yes.

---

Q39. Confirm that umbrella insurance limit is \$3 million.

A39. Confirmed.

---

Q40. Provide copy of the geotechnical report for soil condition prior excavations.

A40. The geotechnical report is included as part of the Project Manual and Specifications.

---

Q41. Provide specifications for the security cameras, how will they be connected or will the City supply and connect them?

A41. Please refer to response to Q10, above.

---

Q42. Sheet S-6 states piles 21ft long and refer to geotechnical report, but there is no geotechnical report in bid documents, please confirm the length of concrete auger piles.

A42. Please refer to response to Q41, above.

---

Q43. Provide specification for the metal roof, acceptable manufacturers, and system.

A43. Please refer to Sheet A300, Keynote #1.

---

Q44. Provide specs for the cold-form steel trusses, and acceptable manufacturers.

A44. Please refer to Project Manual, Specifications Section 05120, "Structural Steel."

---

Q45. Clarify if fire alarm is required for this project.

A45. Fire alarm system is required.

---

Q46. Provide detail showing the point of connection for water line, P100 does not indicate point of connection.

A46. Point of connection shall be determined by field verifying the existing plumbing line location.

---

Q47. Provide detail showing point of connection for sewer sanitary line, P100 does not indicate point of connection.

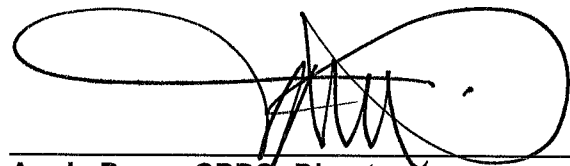
A47. Point of connection shall be determined by field verifying the existing sanitary line location. Existing cleanouts (if any) are not indicated on the boundary surveys.

Attachments:

1. Revised Sheets S-6 and S-8 shall replace the same numbered sheets in the Kennedy Park New Field Restrooms Construction Set of Plans.

**THIS ADDENDUM IS AN ESSENTIAL PORTION OF THE CONTRACT DOCUMENT AND SHALL BE MADE A PART THEREOF.**

for



\_\_\_\_\_  
Annie Perez, CPPO, Director  
City of Miami Department of Procurement