



CITY OF MIAMI - LIFE QUEST RENOVATIONS FOR 1095 N.E. 149th STREET

City of Miami Department of Community Development

BID SET - January 9th 2017

Miami-Dade County - Alteration Level 2

Owner's Representative:
Dollila Pinkhasov
Contract Compliance Analyst
City of Miami

Mayor
Tomas P. Regalado

Chairman
Leon Hardemon

Vice-Chairman
Ken Russell

Commissioner
Frank Carollo

Commissioner
Marc Sarnoff

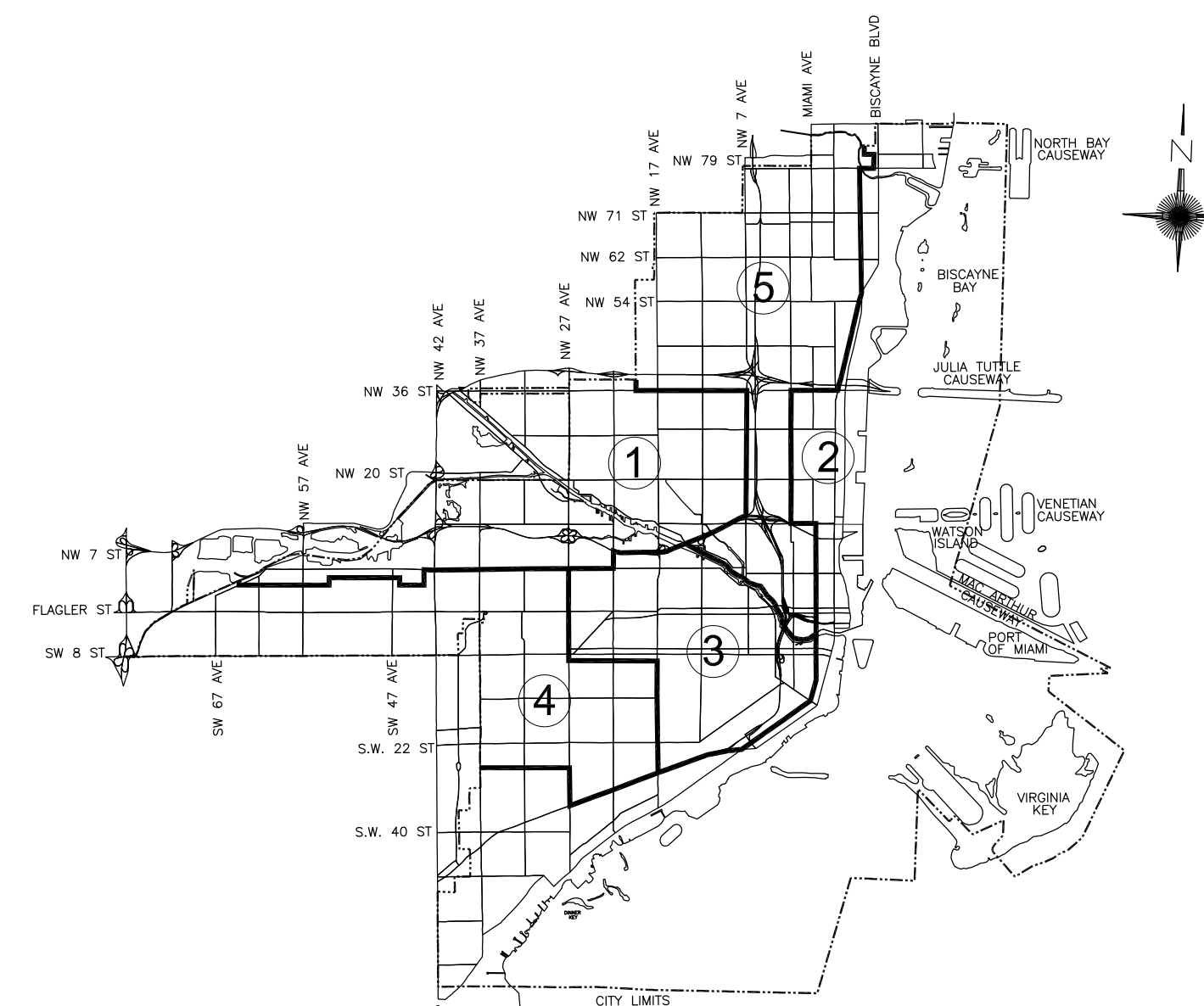
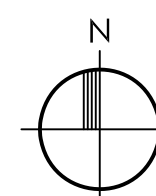
Commissioner
Francis Suarez

City Manager
Daniel J. Alfonso



LOCATION MAP

N.T.S.



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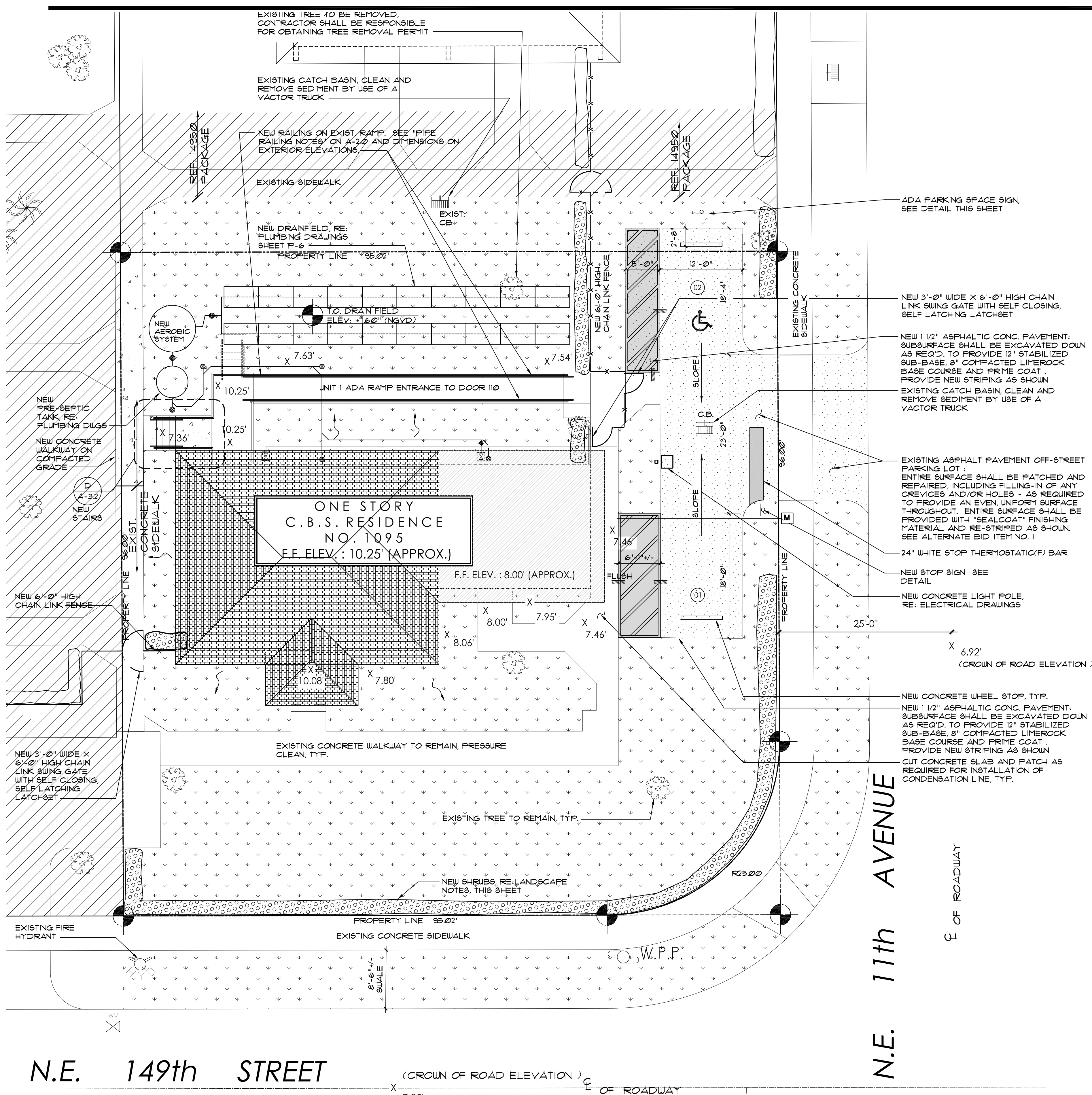


MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

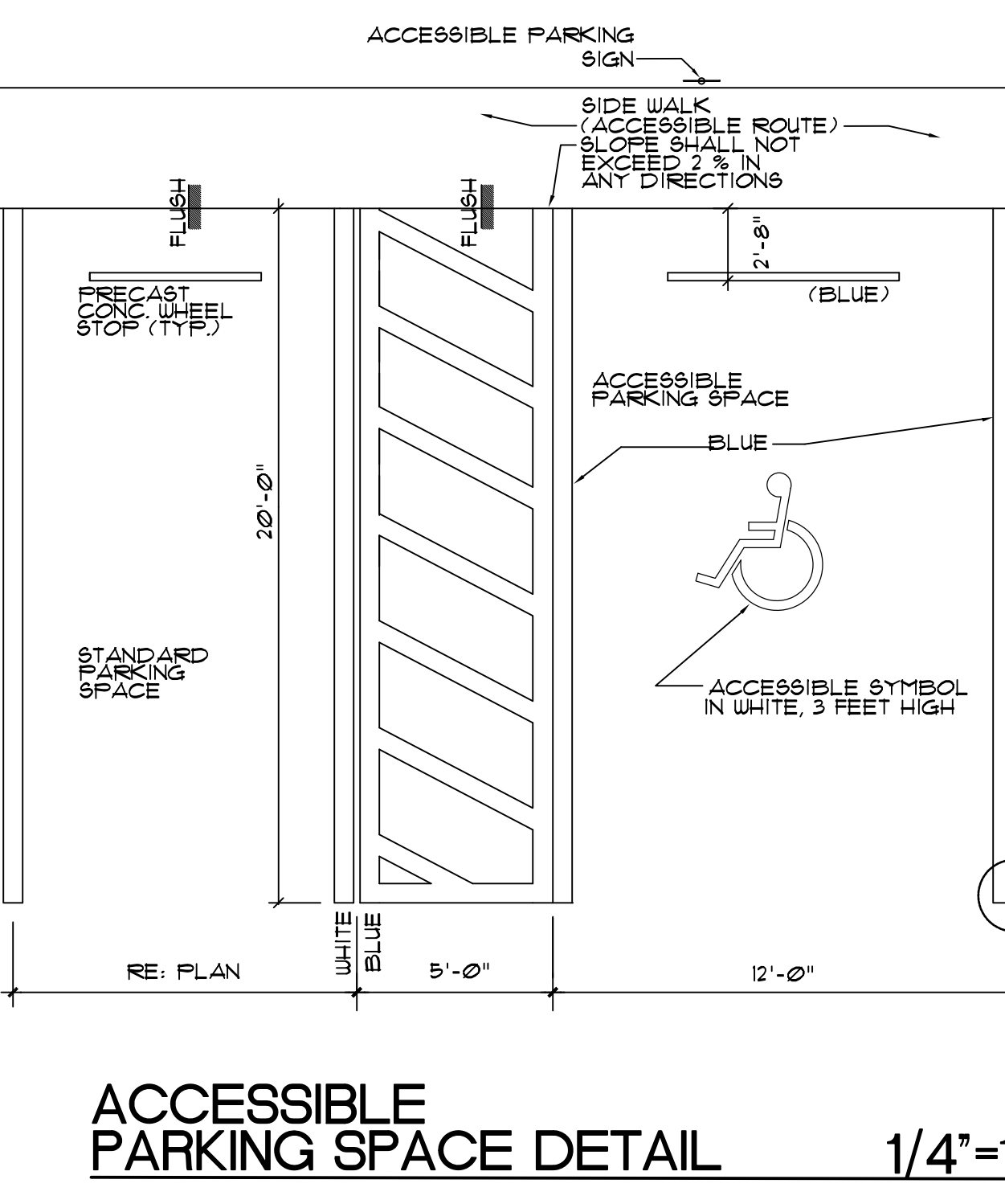
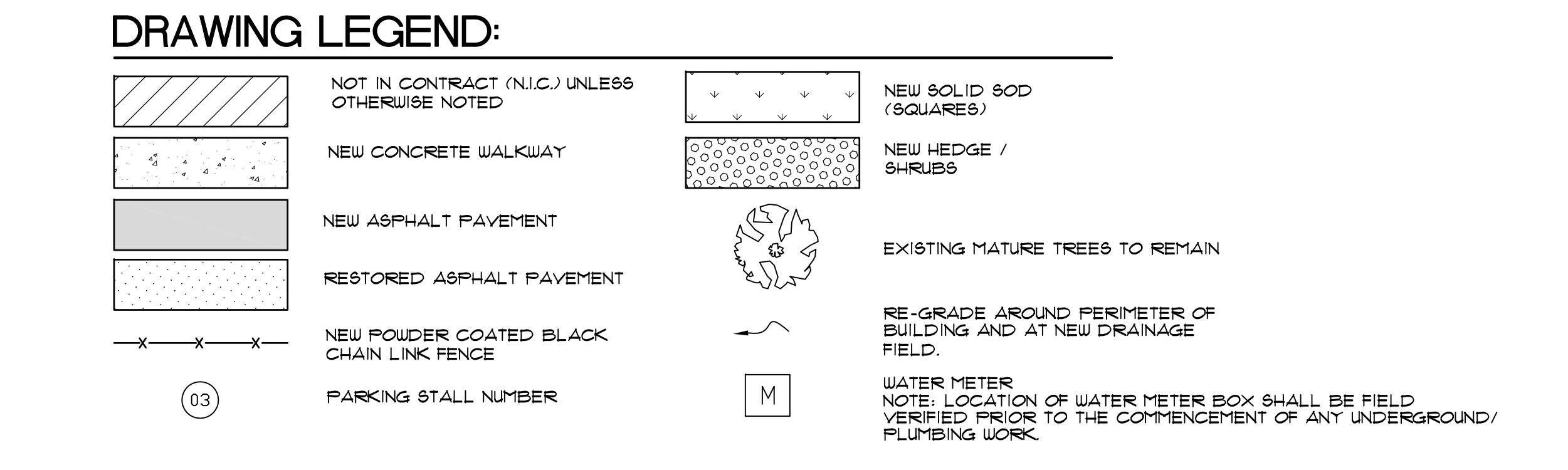
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NOTE: CROWN OF ROAD: SITE AND BUILDING ELEVATIONS SHOWN REFERENCE N.G.V.D. (1929) USING MIAMI-DADE BENCH # H-352, ELEVATION 12.64 FEET.



WARNING - PRIOR TO DIGGING

12 HOURS PRIOR TO DIGGING, THE CONTRACTOR SHALL COORDINATE ALL SUCH WORK WITH ALL UNDERGROUND UTILITY SERVICES COMPANIES TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES. ADDITIONALLY, THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4119) TO ASSURE THAT ALL UTILITIES HAVE BEEN IDENTIFIED AND LOCATED.

LEGAL DESCRIPTION

LOT 1 OF "ETHEL WOOD" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "18" AT PAGE 99 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK

SCOPE OF WORK CONSISTS OF THE COMPLETE DEMOLITION AND REMOVAL OF ALL EXISTING INTERIOR COMPONENTS AND SELECTED EXTERIOR COMPONENTS INCLUDING, BUT NOT LIMITED TO, ALL INTERIOR FRAME PARTITIONS, FURRING, ALL GYPSUM WALLBOARD CLADDING THROUGHOUT ALL INTERIOR SPACES (WALLS AND CEILING), ALL TRIM, ALL CABINETWORK, ALL DOORS AND FRAMES (INTERIOR AND EXTERIOR) AND ALL WINDOWS.

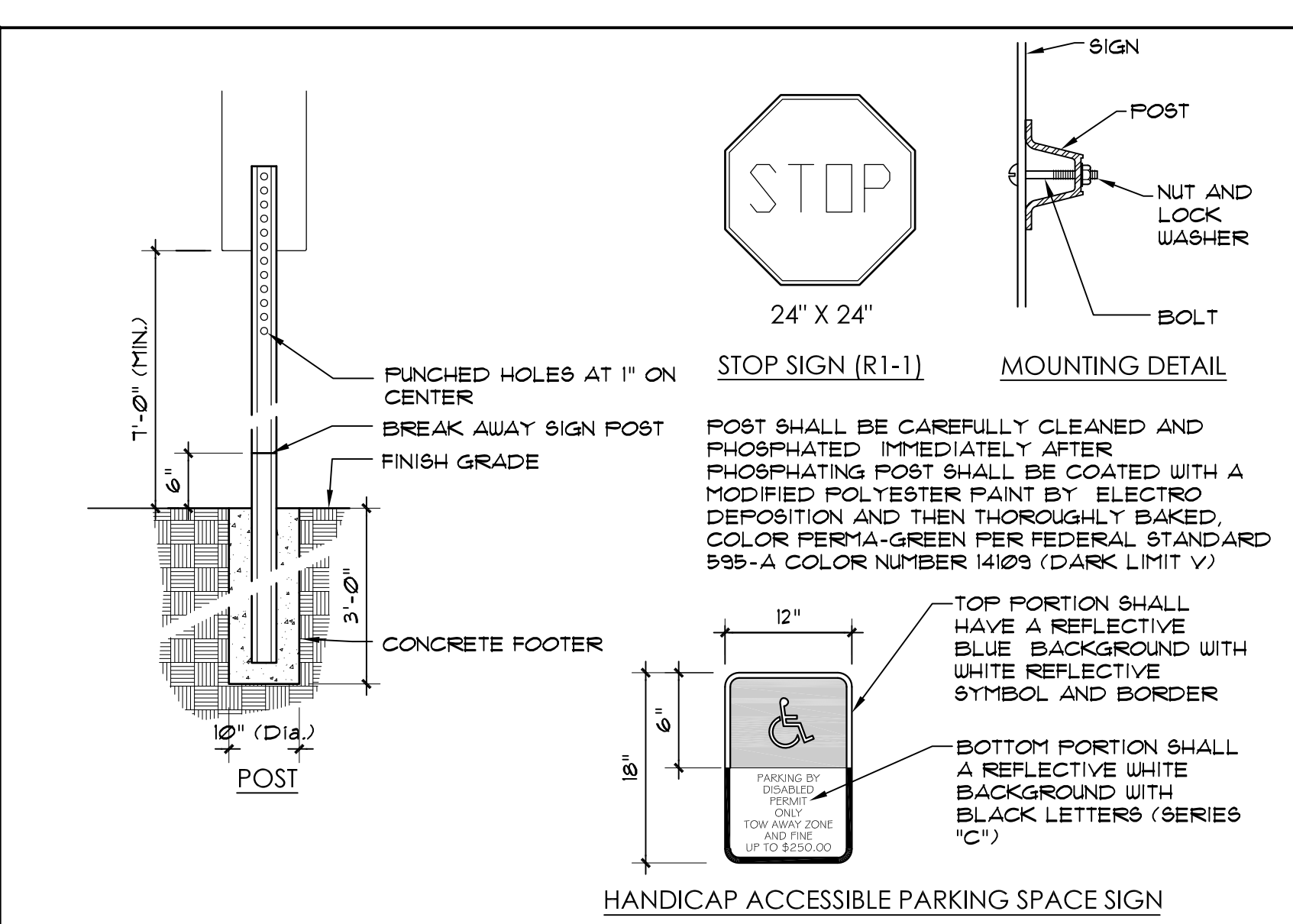
EXTERIOR DEMOLITION AND REMOVAL INCLUDES, BUT IS NOT LIMITED TO, SHINGLE ROOF SYSTEM, INCLUDING TRIM, AND ALL RAILING. SELECTED SITE DEMOLITION TASKS ARE IDENTIFIED IN THE DRAWINGS. ADDITIONALLY, ALL PLUMBING FIXTURES, INCLUDING ALL ACCESSORIES AND TRIM, SHALL BE COMPLETELY REMOVED.

NEW CONSTRUCTION CONSISTS OF MIAMI-DADE COUNTY ALTERATION LEVEL 2 WORK AND INCLUDES, BUT IS NOT LIMITED TO, NEW SHINGLE ROOF SYSTEM, NEW IMPACT RESISTANT WINDOWS AND DOORS, NEW RAILING, NEW GYPSUM WALLBOARD FRAME PARTITIONS AND GYPSUM WALLBOARD OVER FRAMES AT CEILING, AND EXTERIOR MASONRY WALLS. NEW INTERIOR WORK ALSO INCLUDES ALL NEW CABINETRY, DOORS AND FRAMES, TRIM AND ALL FINISHES. NEW SITE WORK INCLUDES CLEARING OF EXISTING PERVIOUS/SODDED AREAS, PRIVACY HEDGES AT PERIMETER AND NEW CHAIN-LINK FENCE WITH PEDESTRIAN GATES.

COMPLETE (DEMOLITION AND NEW WORK) MECHANICAL, ELECTRICAL AND PLUMBING (MEP) SCOPE IS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS FOR THOSE DISCIPLINES.

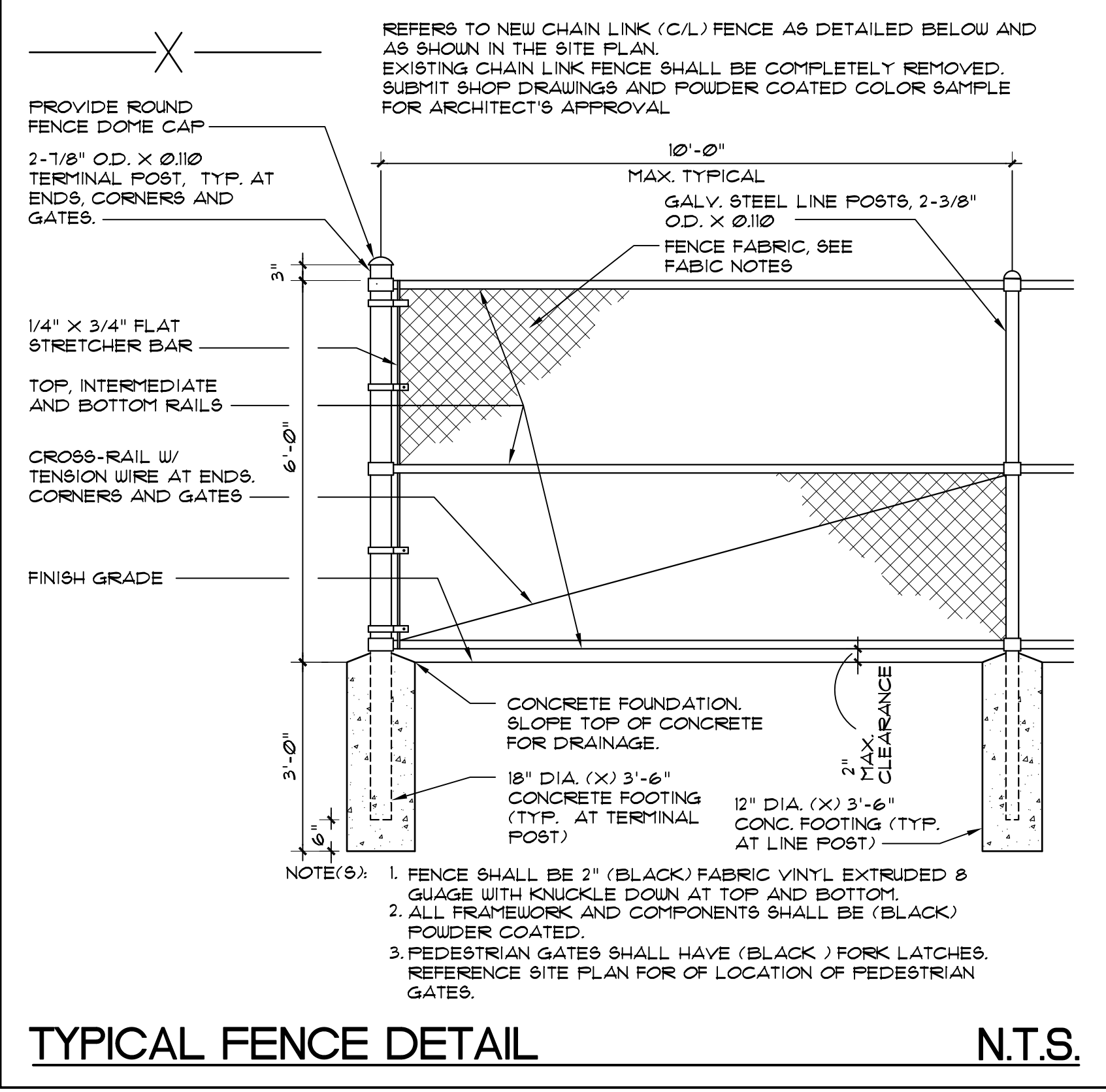
GENERAL NOTES

- GENERAL NOTES ON THE PROJECT PLANS AND DRAWINGS ARE SOLELY TO AID AND ASSIST THE CONTRACTOR WITH THE FIELD OPERATIONS FOR THE PROJECT. SAID GENERAL NOTES MAY NOT FULLY DESCRIBE ALL OF THE REQUIREMENTS FOR AN ITEM, THEREFORE THE CONTRACTOR SHALL READ AND VERIFY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO THE PLANS, SPECIFICATIONS, GENERAL TERMS AND CONDITIONS, THE SUPPLEMENTED TERMS AND CONDITIONS, TO FULLY UNDERSTAND AND COMPLY WITH ALL THE REQUIREMENTS THEREIN.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL UTILITY MARKINGS ONCE THE WORK IS COMPLETED. CONTRACTOR SHALL USE SPECIAL CARE WHEN REMOVING THE UTILITY MARKINGS. THE REMOVAL METHOD SHOULD BE SUCH THAT IT DOES NOT DAMAGE THE SURFACE. IF THE UTILITY MARKINGS ARE ALREADY IN PLACE, IF WATER-BLASTING OLDER ASPHALT PAVEMENT, CARE SHOULD BE TAKEN TO NOT DISCOLOR THE ASPHALT OR FLUSH THE AGGREGATE. IF THE REMOVALS ARE ON OLDER CONCRETE SURFACES, THE ENTIRE SURFACE OR A PANEL OR SECTION NEEDS TO BE BLASTED TO SHOW UNIFORM COLOR THROUGHOUT THAT SAME PANEL OR SECTION. IN ANY CASE (ASPHALT OR CONCRETE SURFACE), THE METHOD NEEDS TO BE SUCH THAT A SLICK SURFACE IS NOT LEFT BEHIND. FINAL PAYMENT TO THE CONTRACTOR MAY BE WITHHELD UNTIL THE UTILITY MARKS ARE PROPERLY REMOVED.
- THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREWITH SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE CONTRACTOR AND ALL HIS SUBCONTRACTORS. THE CONTRACTOR SHALL COORDINATE THE WORK OF HIS SUBCONTRACTORS WITH OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS 4 DIMENSIONS AND COORDINATE THE ACTUAL FIELD CONDITIONS WITH THE WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING AND ANY CONSTRUCTION, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE PERMIT, THE CONTRACTOR MUST CONTACT THE ARCHITECT OR ENGINEER PRIOR TO SCHEDULING THE INSPECTION WITH THE BUILDING INSPECTOR SO THAT THE ENGINEER CAN CONDUCT THE SAME INSPECTION AND INITIAL THE INSPECTION LOG AS REQUIRED BY THE FLORIDA BUILDING CODE.
- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE FLORIDA BUILDING CODE, AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ANY CHANGES REQUIRED BY ANY OF THESE ENTITIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. RESULTING CHANGES, MAY BE SHOWN AS DETERMINED BY THE ARCHITECT, ON REVISED DRAWINGS ISSUED TO THE CONTRACTOR. ANY ADJUSTMENTS TO THE DRAWINGS SHALL BE MADE AT THIS TIME, AND SUBMITTED FOR CONSIDERATION AND APPROVAL OF THE ARCHITECT AND OWNER.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR OBTAIN AND PAY, FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED FOR ITS PORTION OF THE WORK.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE CONTRACTOR MUST CONTACT THE ARCHITECT OR ENGINEER PRIOR TO SCHEDULING THE INSPECTION WITH THE BUILDING INSPECTOR SO THAT THE ENGINEER CAN CONDUCT THE SAME INSPECTION AND INITIAL THE INSPECTION LOG AS REQUIRED BY THE FLORIDA BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN RECORDS OF DEVIATIONS FROM THE DRAWINGS AND PREPARE AS-BUILT RECORD DRAWINGS SHOWING CORRECTLY AND ACCURATELY ALL CHANGES AND DEVIATIONS MADE DURING CONSTRUCTION TO REFLECT THE WORK, AS IT WAS ACTUALLY CONSTRUCTED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF DEVIATIONS FROM THE DRAWINGS AND PREPARE AS-BUILT RECORD DRAWINGS/DOCUMENTATION.
- THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE PERSONS USING OR OCCUPYING ADJACENT ROAD AND/OR SITES.
- WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO PROTECT THE WORK OF HIS CONTRACT. NO SUBCONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER SUBCONTRACTOR.
- THE CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES, AND EQUIPMENT SPECIFICATION SHEETS AS CALLED OUT IN THE CONSTRUCTION DOCUMENTS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: PREFABRICATED TRUSSES, WINDOWS, DOORS, ELECTRICAL AND MECHANICAL EQUIPMENT, PLUMBING FIXTURES, CABINETRY, AND FINISHES. ALL SUBMITTALS SHALL BE DELIVERED TO THE OWNER OR ARCHITECT TO ALLOW FOR REVIEW. PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE OWNER, ARCHITECT, AND/OR ENGINEER.
- ALL REQUIRED LAB TESTS PERTAINING TO THE PROJECT SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE CONTRACTOR BY A LICENSED TESTING LABORATORY UNDER THE SUPERVISION OF A FLORIDA REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED EACH TIME A TEST IS COMPLETED.
- THE CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMBNESS AND STABILITY OF STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.
- NO STRUCTURAL MEMBER SHALL BE CUT, REMOVED, AND/OR MODIFIED (UNLESS SPECIFIED IN THE CONSTRUCTION DOCUMENTS) WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR THE STRUCTURAL ENGINEER.
- AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY JOINT COMPOUND, PLASTER, STUCCO AND PAINT SPILLS OR SPLATTERS. THE BUILDING IS TO BE BROOM CLEANED. THE SITE SHALL BE CLEAN OF ALL CONSTRUCTION DEBRIS AND MATERIALS. ALL LANDSCAPE SHALL BE IN-PLACE, TRIMMED, MOVED AND OTHERWISE IN FINAL CONDITION.
- CABINET MANUFACTURER SHALL FIELD MEASURE EXACT LOCATION OF ALL CABINETRY AND ELECTRICAL RECEPTACLES AT THE JOB SITE PRIOR TO THE FABRICATION OF ANY CABINETRY.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (T) EXCEPT FOR THE 6" WHITE LINES ON EITHER SIDE OF A PARKING SPACE AND THE 6" BLUE LINES FOR ACCESSIBLE SPACES.



SIGN AND POST DETAILS N.T.S.

- HANDICAP SIGN SHALL COMPLY WITH FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION AND WITH THE LATEST REQUIREMENTS OF GOVERNMENT BODIES HAVING JURISDICTION.
- ALL SIGNS SHALL COMPLY WITH MIAMI-DADE PUBLIC WORKS STANDARD DETAILS "R 181".



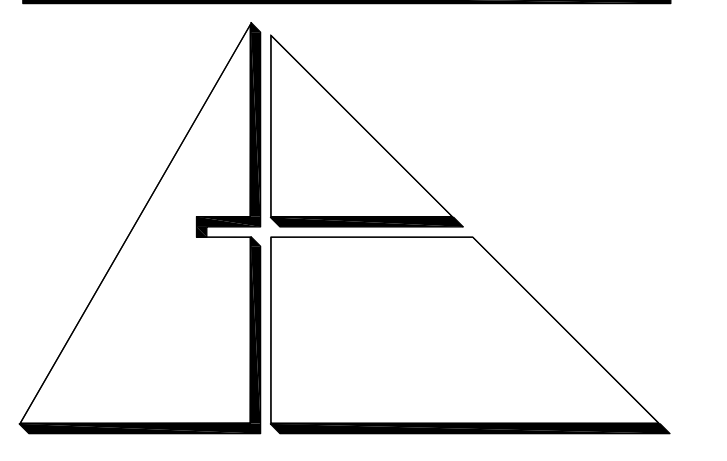
TYPICAL FENCE DETAIL N.T.S.

CODE COMPLIANCE STATEMENTS

- HID SECTION 904 STATEMENT, AT LEAST ONE BUILDING UNIT TYPE (I.E. EFFICIENCY AND/ OR NUMBER OF BEDROOMS) HAVE BEEN MODIFIED AND RENOVATED TO COMPLY WITH FBCA 2010 MOBILITY SECTIONS 2332 AND COMMUNICATION SECTION 2333, TO THE GREATEST EXTENT POSSIBLE - IN COMPLIANCE WITH HID SECTION 904.
- THIS PROJECT IS FUNDED THRU THE FEDERAL GOVERNMENT AND IS COVERED BY TITLE II OF THE ADA.

ALTERNATE BID ITEMS

- CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE BID PRICE FOR FILLING AND RESURFACING ONE-INCH (1") MINIMUM DEPTH FOR PARKING FIELD DRIVE WITH A FINAL COMPACTED THICKNESS OF 9"-9" (9-11)
- CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE BID PRICE FOR REMOVAL OF THE EXISTING STUCCO (ALL SIDES) BY SANDBLASTING DOWN TO THE CMU SUBSTRATE AND PROVIDING A NEW 2 COAT STUCCO SYSTEM (MINIMUM OVERALL THICKNESS 5/8"). ALL NEW STUCCO SURFACES SHALL BE PRIMED AND PAINTED. REMOVE GRADINGS AROUND PERIMETER OF BUILDING TO ALLOW FOR PROPER AND COMPLETE REMOVAL OF EXISTING STUCCO AND TO ALLOW FOR NEW STUCCO APPLICATION 12" BELOW FINISH GRADE MIN.



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PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

Owner's Representative
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(305) 416-2084
444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

SITE PLAN,
SCOPE OF WORK,
GENERAL NOTES
AND DETAILS

UNIT PRICES

- CONCRETE SIDEWALKS:**
PROVIDE SQUARE FOOTAGE UNIT COST TO REPLACE ALL DAMAGED SECTIONS OF EXISTING ON-GRADE CONCRETE SIDEWALKS, INCLUDING, AT A MINIMUM, ANY SURFACE CRACKS EXCEEDING 1/4" IN WIDTH AND DEPTH. COAT SHALL BE PROVIDED FOR ENTIRE WIDTH OF SIDEWALK, WHICH ENCOMPASSES THE DAMAGED AREA(S).
SIDEWALK SHALL MATCH EXISTING FINISH, WIDTHS AND THICKNESS (4" MINIMUM, 6" AT DRIVEWAYS). PROVIDE #6X10 WIRE WELDED MESH AT DRIVEWAYS. PROVIDE 1/8" X 1/2" (DEEP) SAUCED JOINTS @ 8'-0" O.C. MAXIMUM AND 1/4" OPEN JOINTS WITH 1/2" RADIUS TOP EDGES AT CHANGE OF DIRECTION AREAS.
- STUCCO REPAIRS:**
PROVIDE SQUARE FOOTAGE UNIT COSTS FOR STUCCO REPAIRS AS FOLLOW:
a. LOCATED EXPOSED STUCCO WALL AREAS WITH CRACKINGS, DELAMINATION FROM THE SUBSTRATE.
b. AT DELAMINATED AREAS, REMOVE STUCCO SURFACING, CLEAN SUBSTRATE, APPLY PRIMER AND /OR BONDING COMPOUND, APPLY STUCCO RESURFACING TO MATCH EXISTING THICKNESS AND TEXTURE.
c. AT CRACKS, CLEAN OUT LOOSE MATERIALS, PRIME INSIDE SURFACES, FOR LARGE CRACKS, FILL WITH STUCCO PATCHING LEVELING MATERIAL, FOR SMALL CRACKS, FILL CRACK WITH COMPATIBLE SEALANT AND STRIKE FLUSH WITH ADJACENT SURFACES.
d. UPON COMPLETION OF REPAIRS AND ADEQUATE CURING TIME, PAINT ENTIRE WALL SURFACES PER PROJECT REQUIREMENTS.
- CONCRETE STAIRS, LANDINGS AND RAMP REPAIRS:**
PROVIDE SQUARE FOOTAGE UNIT COST TO PERFORM REPAIRS AND MAINTENANCE WORK TO THE EXISTING EXPOSED CONCRETE STAIRS, RAMP AND LANDINGS AS FOLLOW:
a. INSPECT ALL EXISTING CAST-IN PLACE CONCRETE STAIRS, RAMP AND LANDINGS SURFACES FOR DAMAGE AND/OR DETERIORATION.
b. REMOVE ALL AREAS OF CRACKED AND/OR SPALLED CONCRETE DOWN TO SOLID SUBSTRATE.
c. CLEAN AND TREAD ANY EXPOSED REINFORCING STEEL WHICH EXHIBITS CORROSION OR DETERIORATION, PER THE REPAIR COMPOUND MANUFACTURER.
d. APPLY CONCRETE REPAIR COMPOUND TO SEAL AND RESTORE PROFILE OR SURFACE.
- BOARD AND/OR PLYWOOD ROOF SHEATHING:**
PROVIDE COSTS TO REPLACE ALL DAMAGED ROOF SHEATHING SECTIONS WITH SAME.
BOARD SHEATHING COSTS SHALL BE SUBMITTED IN LINEAR FOOTAGE (L.F.). PLYWOOD SHEATHING COSTS SHALL BE SUBMITTED IN SQUARE FEET (S.F.).

SEAL

DATE: JANUARY 9TH 2017

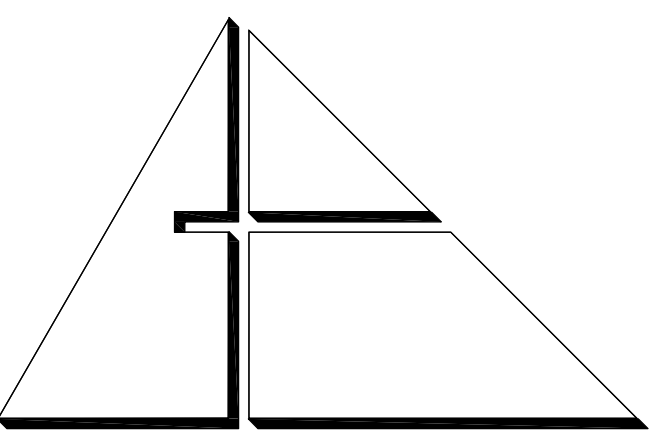
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DRAWING TITLE:

DEMOLITION
FLOOR PLAN

SEAL



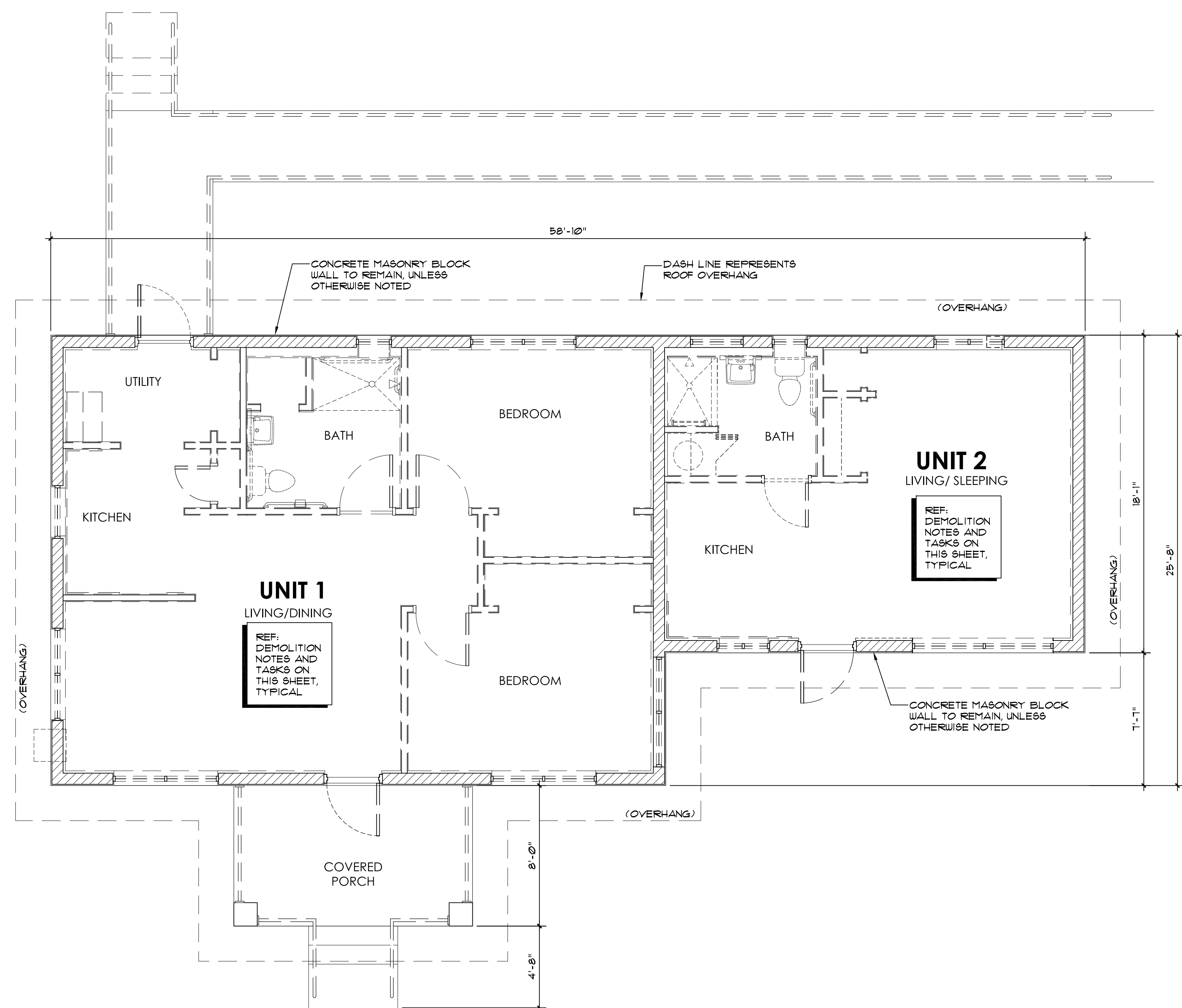
ANA ALLEGUEZ
LICENSE NO. AR14190

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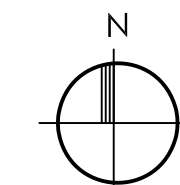
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DEMOLITION FLOOR PLAN

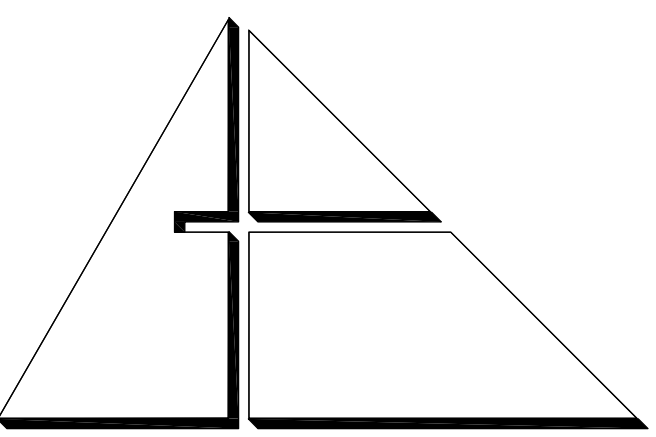
1/4" = 1'-0"



| GENERAL DEMOLITION NOTES | |
|--------------------------|--|
| 1. | THE CONTRACTOR SHALL EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE. |
| 2. | THE CONTRACTOR SHALL PROVIDE ALL SHORING AND TEMPORARY SAFEGUARDS AND WARNING SIGNS AS REQUIRED. |
| 3. | ALL FINISHES AND SURFACES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION AND/OR DURING NEW CONSTRUCTION SHALL BE REPAIRED AND REPLACED TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER. |
| 4. | THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN WRITTEN FORM WITHIN THREE DAYS. |
| 5. | ACTUAL EXISTING DIMENSIONS SHALL GOVERN. |
| 6. | DEMOLITION FLOOR PLAN DEPICTS CURRENT/EXISTING BUILDING LAYOUT-EXTERIOR, INCLUDING WINDOWS AND DOORS AND INTERIOR, INCLUDING PARTITION CONFIGURATION, PLUMBING FIXTURES AND CASEWORK. |
| 7. | ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER OFF SITE OTHERWISE NOTED FOR SALVAGE. |
| 8. | THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNANTICIPATED CONDITIONS AND OR DISCREPANCIES. |
| 9. | THE CONTRACTOR SHALL REPAIR DAMAGES TO ANY UTILITIES AT NO COST TO THE OWNER. |
| 10. | THE CONTRACTOR SHALL ERECT FENCES AROUND THE WORK AREA AS REQUIRED TO PREVENT ACCESS BY UNAUTHORIZED PERSONS. |
| 11. | THE CONTRACTOR SHALL ERECT FENCES AROUND THE WORK AREA AS REQUIRED TO PREVENT ACCESS BY UNAUTHORIZED PERSONS. |
| 12. | REMOVE EXISTING BUILDING ELEMENTS WHERE INDICATED ON THE PLAN. REMOVE ADDITIONAL INCIDENTAL EXISTING BUILDING ELEMENTS WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. REMOVE AND MODIFY EXISTING CEILING WHERE INTERFACING WITH NEW CEILING. |
| DEMOLITION TASKS | |
| 1. | REMOVE SITE PERIMETER CHAIN LINK (C. L.) FENCING COMPLETELY, INCLUDING ALL CONCRETE POST FOOTINGS. |
| 2. | REMOVE ALL SOD AND SHRUBS THROUGHOUT ENTIRE SITE - UNLESS OTHERWISE NOTED. REFER TO LANDSCAPE NOTES FOR TOPSOIL REQUIREMENTS. |
| 3. | ALL EXISTING UNITS ROOM/PARTITION LAYOUTS ARE SAME/SIMILAR TO CORRESPONDING NEW LAYOUTS. |
| 4. | DEMOLITION TASKS INCLUDED HEREIN APPLY TO ALL FOUR (4) INDIVIDUAL UNITS. |
| 5. | REMOVE ALL FRAME AND GYPSUM BOARD PARTITIONS, INCLUDING FURRING AND GYPSUM BOARD ON EXTERIOR CMU WALLS, THROUGHOUT ALL INTERIOR SPACES. |
| 6. | REMOVE ALL GYPSUM BOARD AND FURRING CEILING (AT UNDERSIDE OF ROOF TRUSSES) THROUGHOUT ALL INTERIOR SPACES. |
| 7. | REMOVE ALL MILLWORK AND ALL ARCHITECTURAL TRIM WORK. |
| 8. | REMOVE ALL INTERIOR WOOD DOORS AND FRAMES AND ALL EXTERIOR DOORS AND WOOD FRAMES. |
| 9. | REMOVE ALL ALUMINUM FRAMES AND GLASS WINDOWS (IN EXTERIOR MASONRY WALLS). |
| 10. | REMOVE ALL ARCHITECTURAL FINISHES INCLUDING VCT AND TILE FLOOR FINISHES. |
| 11. | REMOVE REAR CONCRETE STEPS AND ALL STEEL PIPE RAILING. |
| 12. | REMOVE ENTIRE SHINGLE ROOF SYSTEM DOWN TO PLYWOOD AND OR WOOD PLANK SHEATHING SUBSTRATE, INCLUDING WOOD FASCIA AND SOFFIT. |
| 13. | CONTRACTOR SHALL DISCONNECT ALL UTILITIES. |
| 14. | REMOVE ALL ELECTRICAL DEVICES |
| 15. | REMOVE ALL PLUMBING FIXTURES AND ASSOCIATED PLUMBING LINES |
| 16. | THE EXISTING SEPTIC TANK SHALL BE ABANDON PER THE FLORIDA ADMINISTRATIVE CODE 64B-3.0(1), SECTION 2. SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FIELD VERIFY THE LOCATION OF THE EXISTING SEPTIC TANK. |

BID SET

A-1.1



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MIAMI, FL 33130

DRAWING TITLE:

FLOOR PLAN & BUILDING ELEVATIONS

SEAL:



DATE:

JANUARY 9TH 2017

REVISED:

CAD DRAWING NAME:
1095 A-2.0.DWG

SHEET NO.:

BID SET

A-2.0

FHA GUIDELINES

ALL DUELLING UNITS SHALL COMPLY WITH THE FOLLOWING ITEMS:

1. BUILDING ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE.
2. PUBLIC AND COMMON USE AREAS SHALL BE ACCESSIBLE.
3. ALL DOORS WITHIN EACH UNIT SHALL COMPLY WITH ACCESSIBILITY.
4. ALL UNITS SHALL PROVIDE ACCESSIBLE ROUTE INTO AND THROUGH THE DUELLING UNITS.
5. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE ACCESSIBLE.
6. LIGHT SWITCHES AND THERMOSTATS SHALL BE LOCATED AT 48" MAXIMUM AFF.
7. ELECTRICAL OUTLETS SHALL BE LOCATED AT 15" MIN. AFF.
8. REINFORCE BATHROOM WALL AREAS FOR FUTURE INSTALLATION OF GRAB BARS AROUND TOILETS AND SHOWERS AND BATHUBS. GO TO PROVIDE RECORD DRAWINGS INDICATING WHERE REINFORCEMENT HAS BEEN LOCATED.
9. KITCHENS AND BATHROOMS SHALL PROVIDE WHEELCHAIR MANEUVERABILITY.

NEW SURFACE MOUNTED GANG MAILBOXES (2-BOXES) INSTALL AS PER MANUFACTURER'S INSTRUCTIONS. MODIFY EXIST. F10 AS REQUIRED. SUBMIT SHOP DRAWINGS.

GENERAL NOTES

1. ALL EXISTING DIMENSIONS ARE DEPICTED WITHIN PARENTHESES. ALL EXISTING DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
2. ALL NEW DIMENSIONS (STRINGS) ARE DEPICTED WITHOUT PARENTHESES AND ARE INTENDED TO BE FROM "ROUGH" TO "ROUGH" (UNLESS OTHERWISE NOTED).
3. ALL WINDOWS AND EXTERIOR DOORS ARE TO BE INSTALLED IN EXISTING MASONRY OPENINGS (F10). ALL EXISTING F10 SHALL BE INSPECTED FOR SUITABILITY TO RECEIVE NEW WINDOW AND/OR DOOR. OPENINGS SHALL BE MODIFIED AS NECESSARY.
4. PARTITION TYPE SYMBOLS ARE NOT 'CUT' IN EVERY LOCATION AND ARE INTENDED TO IDENTIFY EACH PARTITION TYPE AS DETERMINED BY PARTITION USE AND/OR LOCATION.
5. ALL EXISTING BUILDING PENETRATIONS (WINDOWS AND DOORS) ARE CURRENTLY BOARDED SHUT WITH PLUGWOOD SHEETS (AND/OR CORRUGATED METAL PANELS). THE CONTRACTOR SHALL REMOVE ALL SUCH MATERIALS AND DISCARD. ALL RESULTING PERFORATIONS AND DAMAGE FROM ANCHORS AND HARDWARE FOR THOSE PANELS SHALL BE REPAIRED, FILLED-IN, FINISHED FLUSH AND EVEN TO MATCH ADJACENT EXISTING STUCCO SURFACES.

CLOSET NOTES

1. PROVIDE ONE (1) WHITE, VINYL CLAD, 12" WIRE SHELF WITH INTEGRAL CLOTHES ROD IN EACH CLOSET UNLESS OTHERWISE NOTED. PROVIDE TWO (2) SHELVES IN UNIT 1 BEDROOM (118) CLOSET. PROVIDE ONE SHELF AT STANDARD HEIGHT, FULL WIDTH OF CLOSET AND ONE SHELF AT 48" AFF. FOR HALF THE LENGTH OF THE CLOSET.
2. PROVIDE TWO (2) WHITE, VINYL CLAD, 16" STANDARD SHELVES IN WATER HEATER CLOSET IN EACH UNIT.
3. PROVIDE FOUR (4) STANDARD (NON-CLOTHES ROD TYPE) WHITE, VINYL CLAD, 12" WIRE SHELVES IN UTILITY ROOM (116) CLOSET.

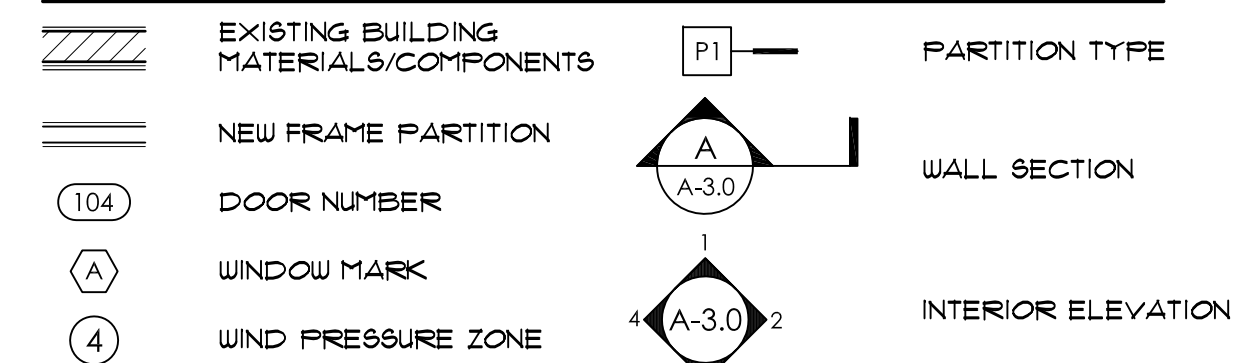
PIPE RAILING NOTES

- PROVIDE NEW RAILING AT RAMP AND STEPS AS FOLLOWS:
1. POST AND RAILS SHALL BE 1-1/2" OUTSIDE DIAMETER, G-90 HOT-DIPPED GALVANIZED STEEL WITH 1/2" PICKETS SPACED TO REJECT A 4" SPHERE.
 2. ALL WELDED JOINTS, GRIND SMOOTH.
 3. POSTS SHALL BE CORE DRILLED 4" (MIN.) INTO EXISTING CONCRETE AND SET IN EXISTING FORMER POST HOLES SHALL BE FILLED SOLID WITH NON-SHINK CONCRETE GROUT FLUSH WITH TOP OF EXISTING CONCRETE SURFACES. NEW POSTS SHALL BE PLACED A MINIMUM OF 3" FROM NEAREST FORMER POST HOLE AND A MINIMUM OF 3" (CLEAR) FROM EDGES.
 4. RAILING SECTIONS THAT TERMINATE AGAINST BUILDING WALL SHALL BE ANCHORED TO THE WALL WITH EXPANSION ANCHORS THRU PIPE END FLANGES. AT A MIN. ANCHORS SHALL BE SET INTO NEW SOLID CONG. GROUT FILLED (EXIST.) CHNL. CELLS OR INTO EXIST. CONG. COLUMN.
 5. PROVIDE FLUOROPOLYMER POWDER COATING AAMA 2605 FINISH (SUBMIT DURANAR COLOR CHART OR APPROVED EQUIVALENT).
 6. PRIOR TO MANUFACTURING, SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT. PROVIDE CALCULATIONS SIGNED AND SEALED BY A LICENSED FLORIDA ENGINEER. SHOP DRAWINGS SHALL CONTAIN INFORMATION PERTAINING TO THE POWDER COATING SYSTEM.

DOOR BELL:

1. PROVIDE WIRELESS DOOR BELL SYSTEM IN EACH UNIT. SYSTEM SHALL INCLUDE ONE RECEIVER IN EFFICIENCY UNITS; PLUS ONE RECEIVER PER BEDROOM IN OTHER UNITS.
2. REVISIONS SHALL BE PLACED INTO CONVENIENCE RECEPTACLE OUTLETS AT 4'-0" AFF. WHICH SHALL BE PLACED NEXT TO ENTRY DOOR INTO EACH LIVING UNIT AND/OR BEDROOM. DOOR BELL PUSH BUTTON SHALL BE PLACED ON WALL, NEXT TO DOOR LATCH, AT 4'-0" O.C.
3. SYSTEM SHALL BE "MUTE" MODEL LA204RUH PLUG-IN DOOR CHIME WITH VOLUME CONTROL FOR AUDIBLE SIGNAL AND WITH FLASHING STROBE -OR APPROVED EQUIVALENT.

SYMBOLS LEGEND

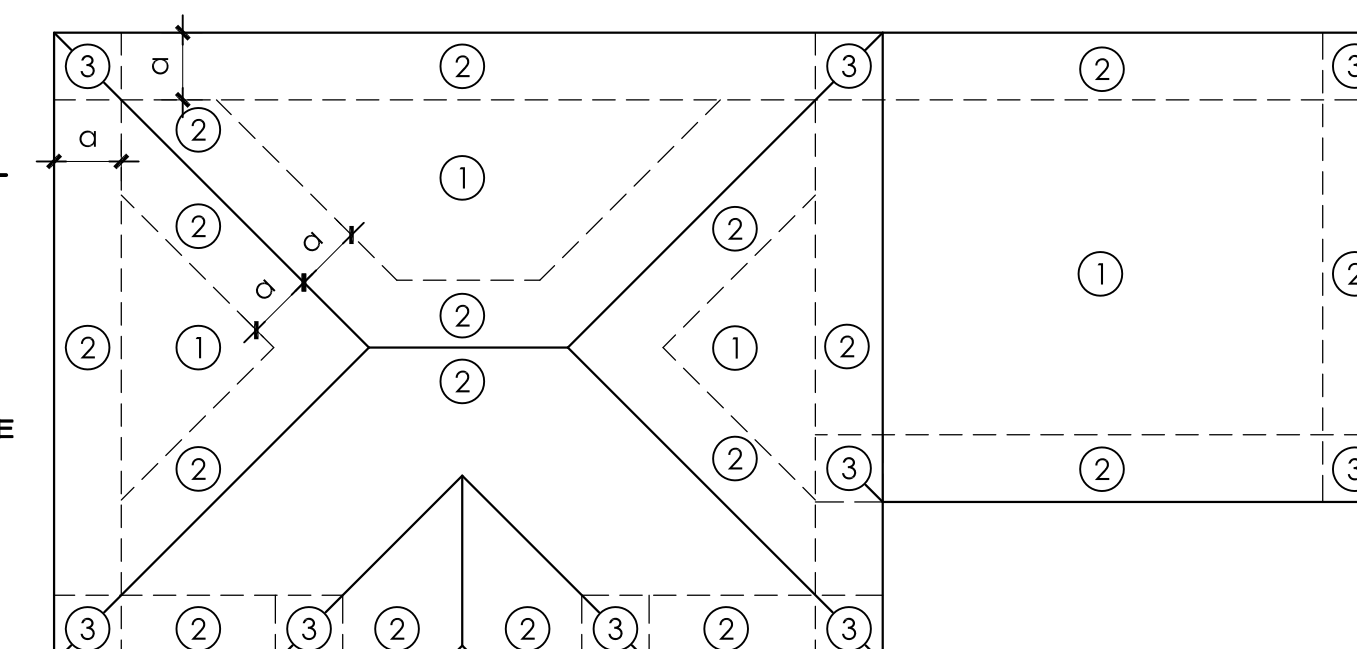


WIND PRESSURE NOTES

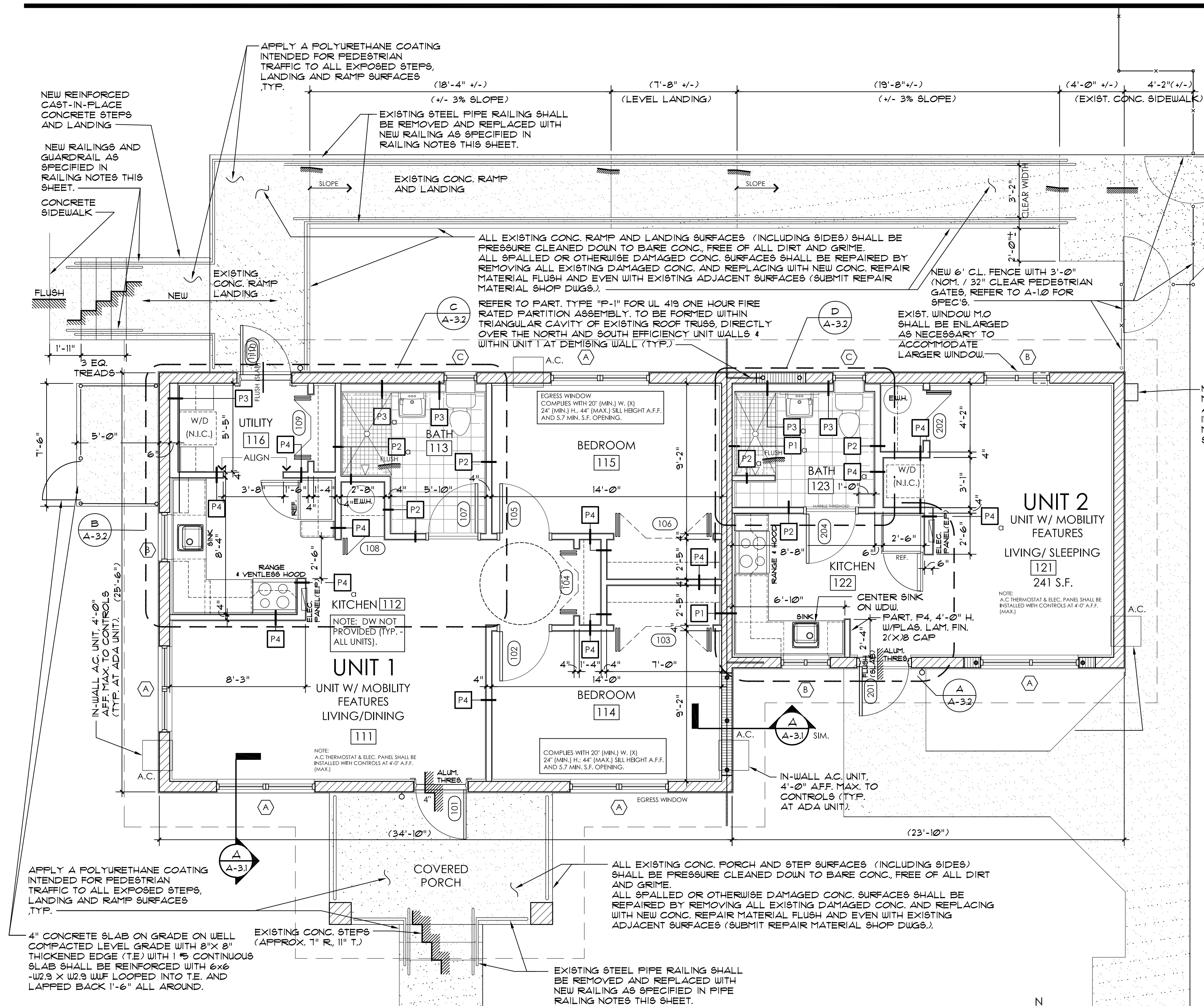
1. NUMBERS ON THIS SHEET ARE THE COMPONENTS AND CLADDING GROSS UNFACTORED SERVICE PRESSURES PERPENDICULAR TO THE SURFACE (IN P.S.F.) BASED ON TRIBUTARY AREA. MULTIPLY SERVICE PRESSURES BY 1.6 TO OBTAIN WIND PRESSURES FOR FACTORED LOADS USING STRENGTH DESIGN (ASCE 7-10 2.3).
2. PRESSURES ARE DERIVED FROM ASCE 7-10.
3. DIRECTIONALITY FACTOR Kd = .85
4. THE VALUE OF "h" EQUALS 3'-2".
5. NEGATIVE PRESSURES ACT AWAY FROM SURFACE, POSITIVE PRESSURES ACT TOWARD SURFACES.
6. OVERHANG PRESSURES ARE RESULTANT PRESSURES FROM ROOF AND SOFFIT FORCES ACTING AWAY FROM THE ROOF SURFACE. PRESSURES ARE TO BE APPLIED TO COMPONENTS WHICH SEE LOAD FROM EACH SIDE, SUCH AS A TRUSS OVERHANG.
7. WIND PRESSURE NOTE: THE DESIGN WIND PRESSURES FOR ALL WINDOWS AND DOORS IS (4) 4 PSF AND (1) 4.4 PSF.

COMPONENTS AND CLADDING WIND PRESSURES

| ZONE | TRIBUTARY AREA (SF) | | | | | |
|----------|---------------------|--------|--------|--------|--------|--------|
| | 10 | 20 | 50 | 100 | 200 | 500 |
| ROOF | (1) | -37/24 | -36/22 | -35/19 | -34/17 | -34/17 |
| | (2) | -64/24 | -59/22 | -52/19 | -47/17 | -47/17 |
| | (3) | -95/24 | -89/22 | -81/19 | -71/17 | -71/17 |
| OVERHANG | (2) | -81 | -81 | -81 | -81 | -81 |
| | (3) | -132 | -120 | -104 | -91 | -91 |
| | (4) | -44/41 | -42/39 | -40/36 | -38/35 | -36/33 |
| WALL | (3) | -54/41 | -51/39 | -46/36 | -42/35 | -39/33 |
| | (5) | -54/41 | -51/39 | -46/36 | -42/35 | -39/33 |



ROOF WIND PRESSURE LOADS N.T.S.

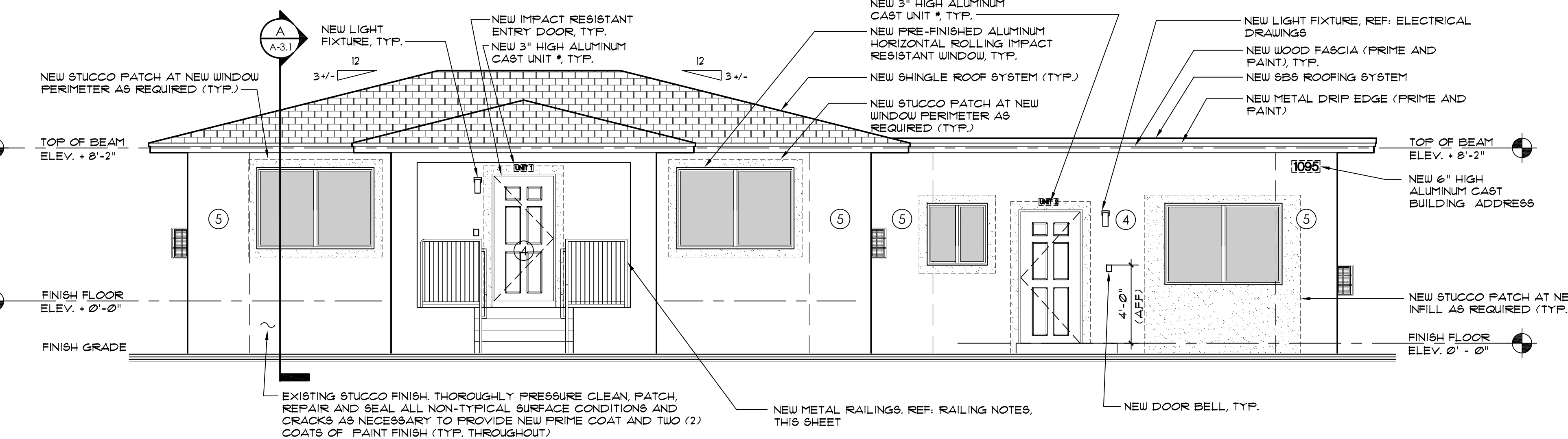


FLOOR PLAN

MIAMI-DADE COUNTY LEVEL 2 ALTERATION
NOTE: REFER TO SHEET A-32 FOR STRUCTURAL MASONRY TASKS - DETAILS AND NOTES

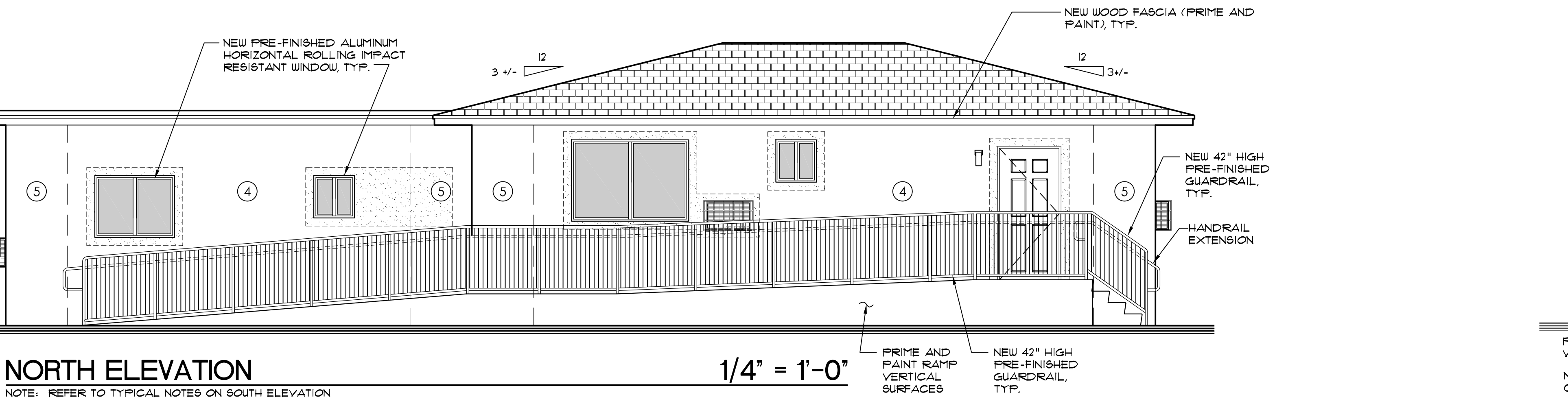
1/4" = 1'-0"

SOUTH ELEVATION



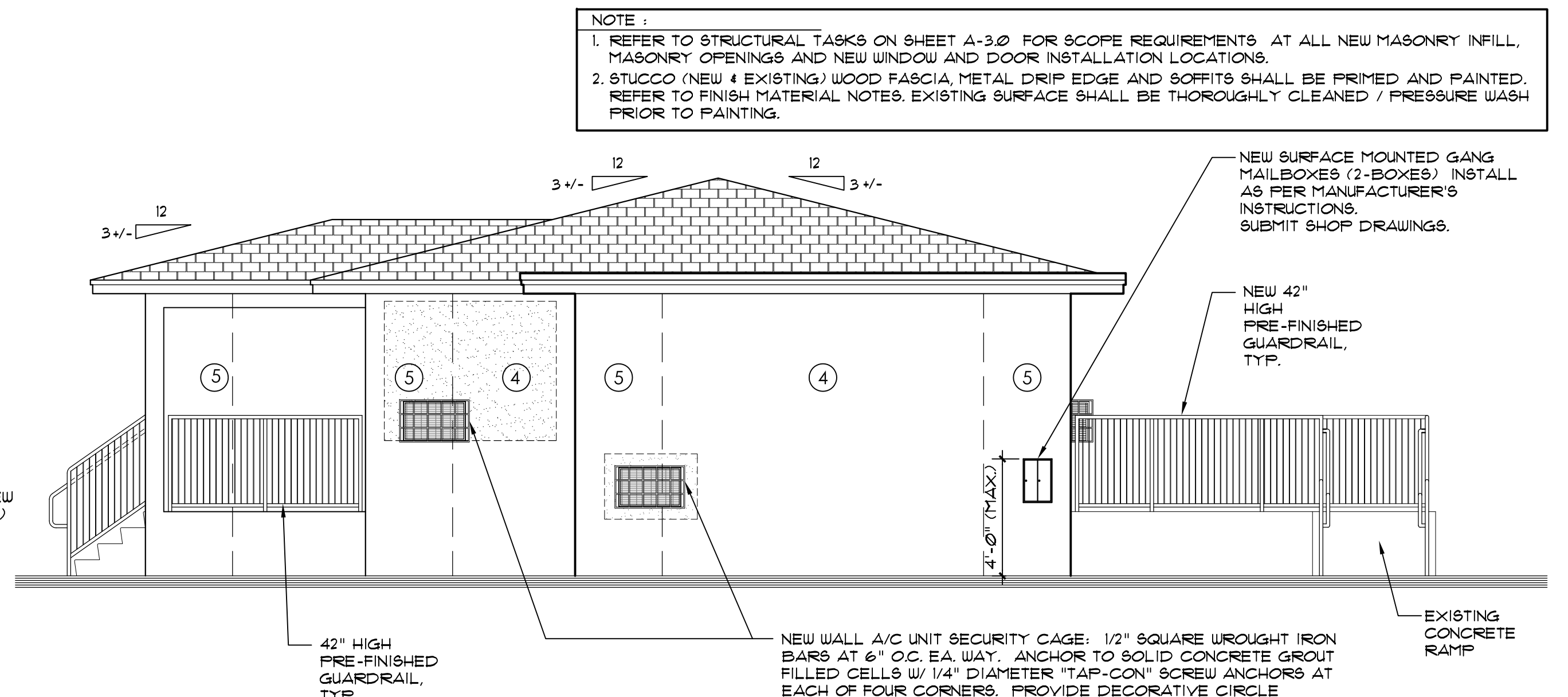
1/4" = 1'-0"

NORTH ELEVATION



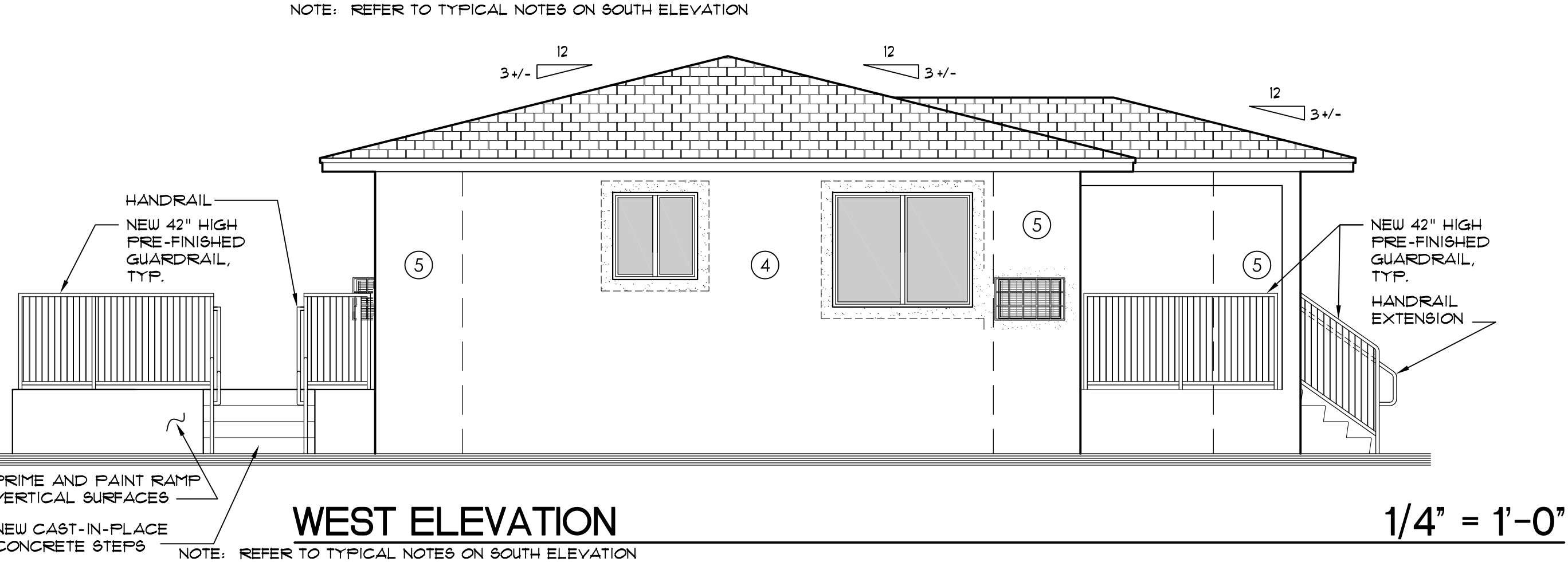
1/4" = 1'-0"

EAST ELEVATION

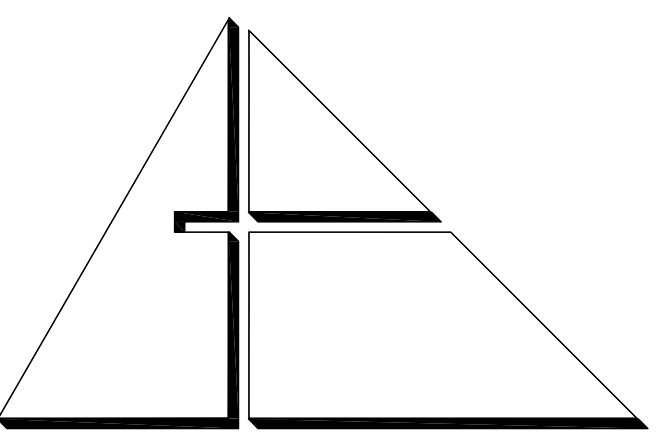


1/4" = 1'-0"

WEST ELEVATION

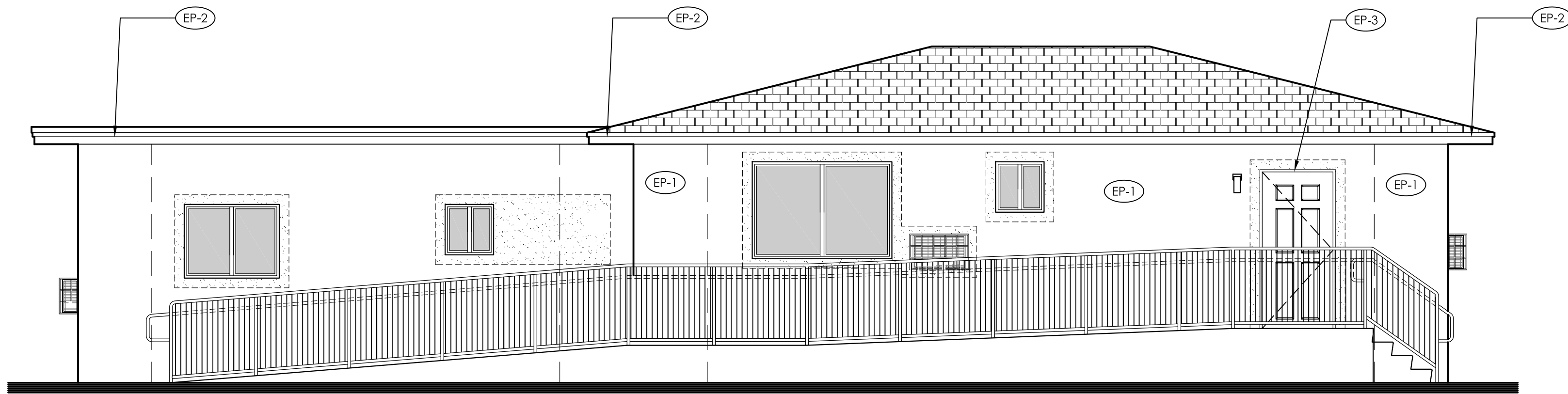


1/4" = 1'-0"



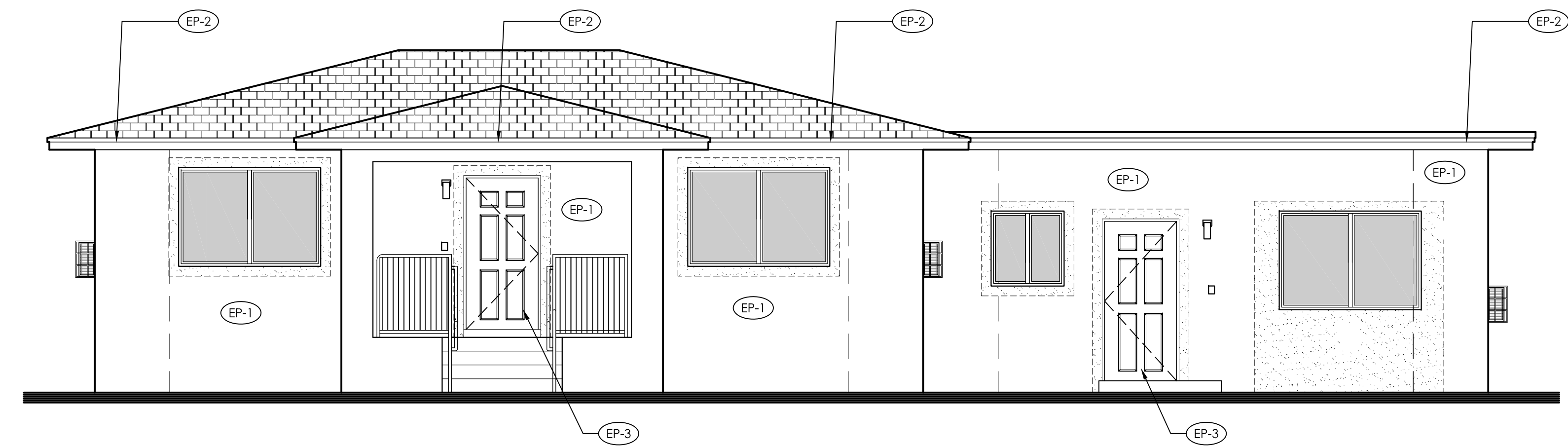
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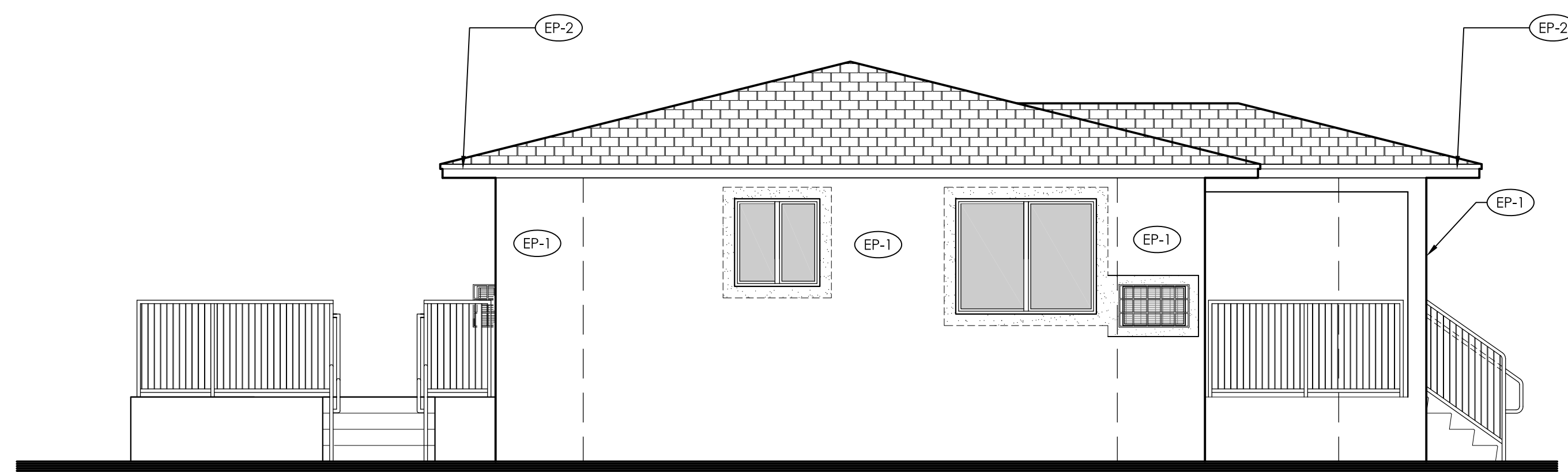
NORTH ELEVATION

1/4" = 1'-0"



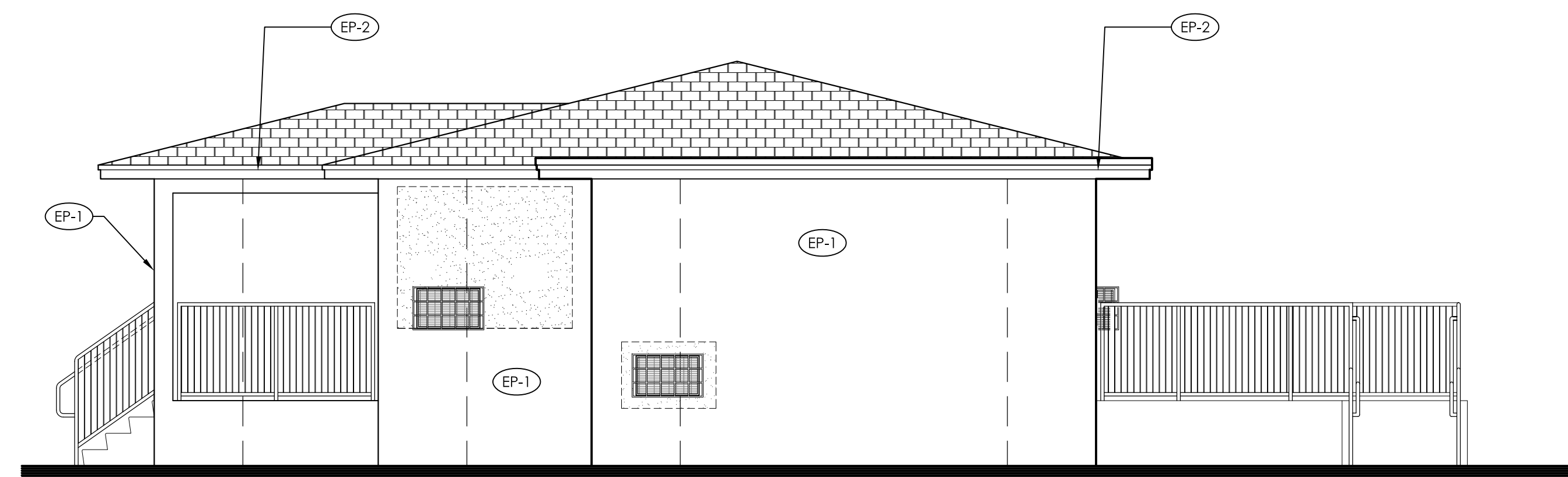
SOUTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

SYMBOL LEGEND

(EP-1) DENOTES PAINT COLOR

EXTERIOR FINISHES SCHEDULE

| MARK | COLOR | REMARKS |
|--------|------------------------|-------------------|
| (EP-1) | SLEEPY BLUE SW 6225 | FIELD COLOR |
| (EP-2) | EXTRA WHITE SW 1006 | FASICA AND SOFFIT |
| (EP-3) | EXTRA WHITE SW 1006 | DOORS |

NOTES:

- PROVIDE MOCKUP PAINT SAMPLES 4" X 4" SQUARE FOR EACH COLOR OF PAINT TO BE APPROVED BY OWNER.
- DO NOT PAINT OVER CODE-REQUIRED LABELS SUCH AS UNDERWRITERS LABORATORIES (UL) AND FACTORY MUTUAL (FM), NAME, EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, OR NOMENCLATURE PLATES.
- PAINT WARRANTY:
SIX (6) YEARS WARRANTY FOR LABOR AND MATERIAL FROM THE PAINT MANUFACTURER.
- SHOP DRAWING SUBMITTAL:
a. SUBMIT MANUFACTURER PRODUCT SAFETY DATA, MANUFACTURER'S TECHNICAL INFORMATION, INCLUDING PAINT LABEL ANALYSIS AND APPLICATION INSTRUCTIONS FOR EACH MATERIAL PROPOSED FOR USE.
b. SAMPLES: PROVIDE COLOR CHIPS FOR REVIEW BY ARCHITECT.
c. SUBMIT PAINT MANUFACTURER'S PROPOSED 6 YEAR WARRANTY DOCUMENT.
- PHASE PROJECT TO ALLOW A MINIMUM OF 28 DAYS FOR STUCCO AND PLASTER TO CURE PROPERLY. IF PAINTING BEGINS BEFORE THE 28 DAY CURING PERIOD, THEN A MOISTURE AND PH TEST SHALL BE MADE ACCORDING TO ASTM D4262 AND ASTM D4263.
- DO NOT PAINT OVER FACTORY-FINISHED OR INSTALLER-FINISHED SPECIFIED ITEMS, CONCEALED SURFACES, FINISHED METAL MATERIAL (SUCH AS ANODIZED ALUMINUM, STAINLESS STEEL, BARE COPPER, BARE BRONZE AND METALS OF SIMILAR FINISH), OPERATING PARTS AND CODE REQUIRED LABELS.
- BASIS OF DESIGN IS SHERWIN WILLIAMS OR APPROVED EQUIVALENT. REFER TO FINISH MATERIAL NOTES ON SHEET A-3.1 FOR PAINT SPECIFICATIONS.

PROJECT:

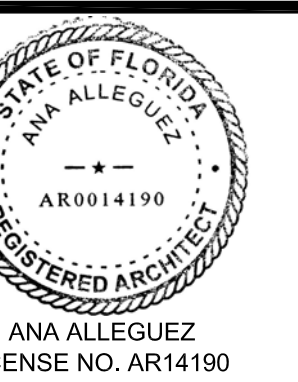
CITY OF MIAMI
 LIFE QUEST
 RENOVATIONS
 1095 NE 149 ST

Owner's Representative:
 Lori B. Soto
 City of Miami
 Department of Community Development
 (305) 416-2084
 444 SW 2nd Avenue
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DRAWING TITLE:

EXTERIOR
 FINISHES

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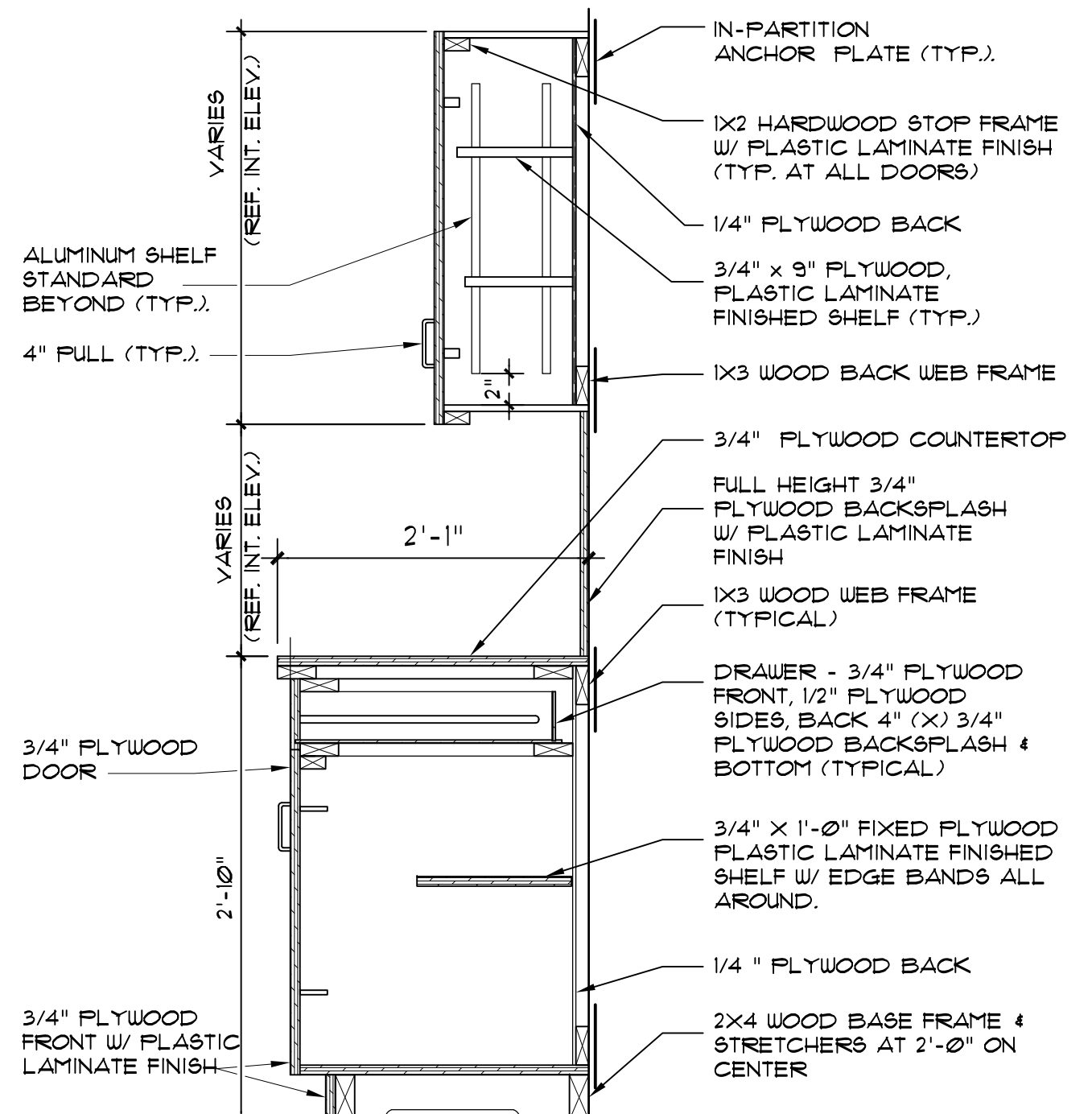
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SHEET NO.

BID SET
A-2.1

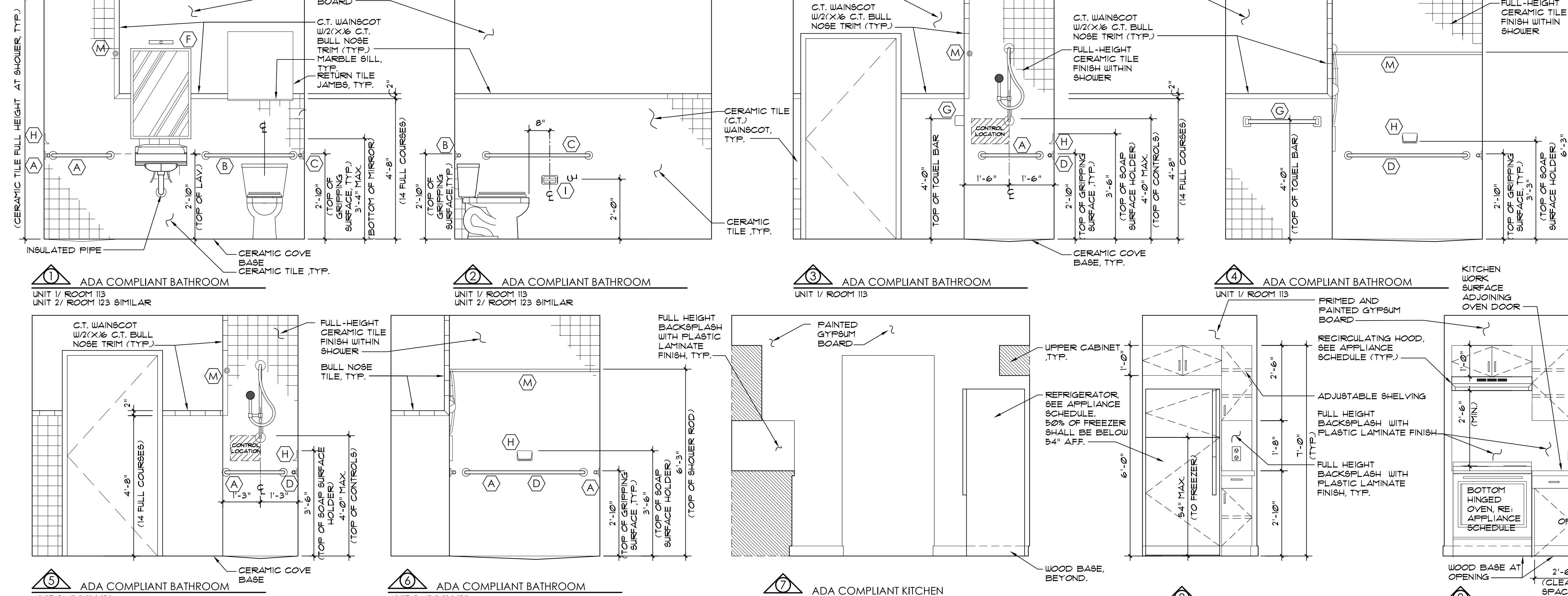
GENERAL CABINET NOTES

- UPPER AND LOWER CABINETS SHALL BE CONSTRUCTED OF 3/4" FLYWOOD INCLUDING DOORS, DRAWER FRONTS AND SHELVES. DRAWER SIDES, BACKS AND BOTTOM SHALL BE 1/2" FLYWOOD. CABINET BACKS SHALL BE 1/4".
- ALL CABINETS AND SHELVING SHALL HAVE PLASTIC LAMINATE FINISH ON ALL EXPOSED WOOD SURFACES.
- FULLS FOR BASE AND WALL CABINETS SHALL BE 3/16" X 4" LONG STAINLESS STEEL WIRE FULLS WITH SATIN FINISH.
- ALL HINGERS FOR NEW CABINETS SHALL BE CONCEALED FULL OVERLAY, CUP FREE SWING TYPE HINGERS. FOR AMOUNT OF HINGERS PER DOOR FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- ALL SHELVES INSIDE CABINETS SHALL BE ADJUSTABLE AND MOUNTED ON ALUMINUM SHELF SUPPORTS/STANDARDS (TYPICAL OF 4 PER SHELF).
- PROVIDE IN-PARTITION SUPPORTS FOR CABINET AND COUNTERTOP INSTALLATION AS REQUIRED.
- ALL FINISH MATERIAL COLORS SHALL BE SELECTED BY THE ARCHITECT.
- PROVIDE EDGE BANDS ON ALL FLYWOOD SHELVES.
- PROVIDE SHOP DRAWINGS BEFORE MANUFACTURING AND INSTALLATION OF BUILT-INS.



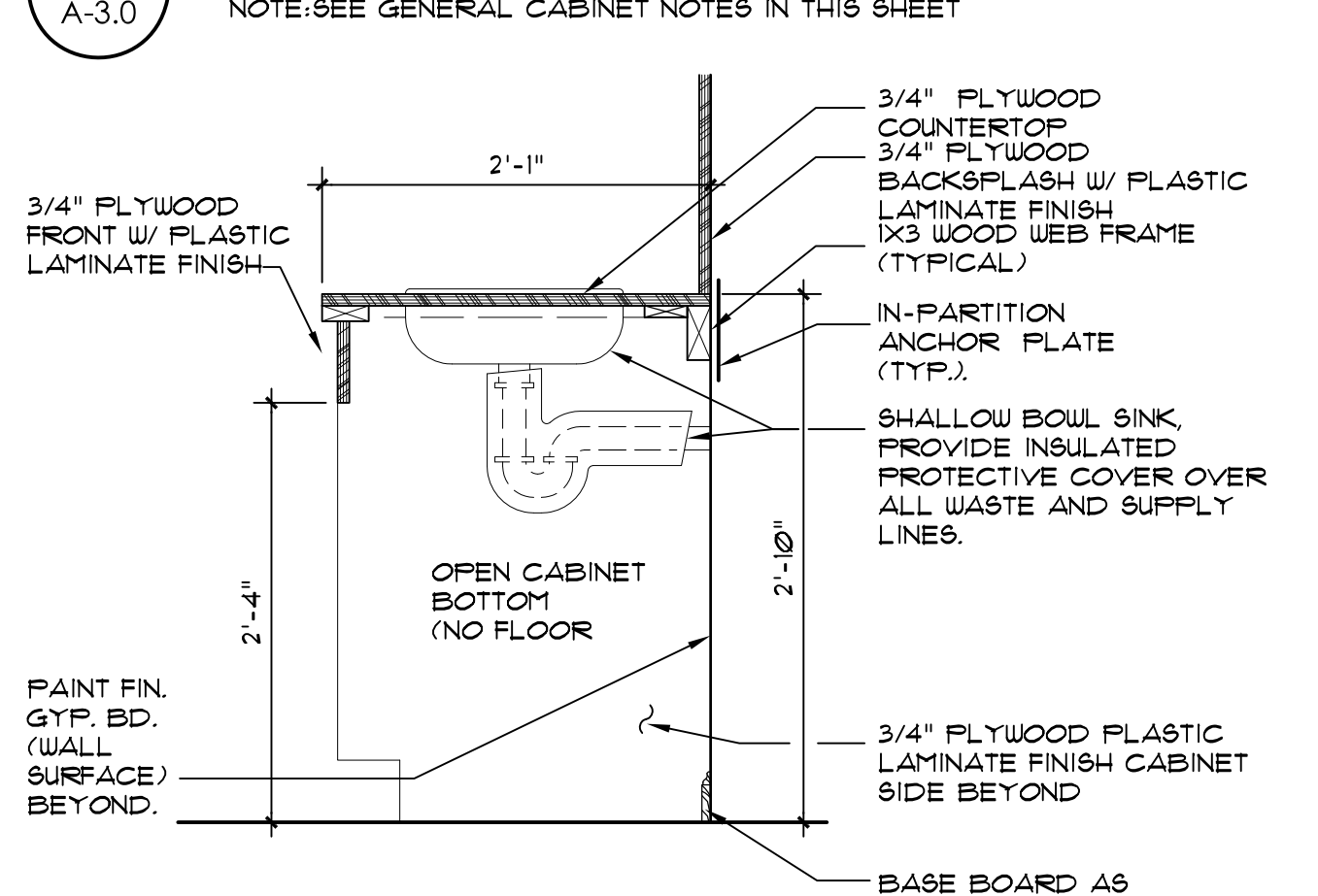
INTERIOR ELEVATIONS

NOTE: 1. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURES AND FAUCETS 4 VALVES SCHEDULES. ELEVATIONS REFLECT SYMBOLIC REPRESENTATION OF FIXTURE.
2. REFER TO KITCHEN APPLIANCE SCHEDULE.



1/2" = 1'-0"

A CABINET SECTION
NOTE: SEE GENERAL CABINET NOTES IN THIS SHEET



B CABINET SECTION
NOTE: SEE GENERAL CABINET NOTES IN THIS SHEET

B CABINET SECTION
NOTE: SEE GENERAL CABINET NOTES IN THIS SHEET

KITCHEN APPLIANCE SCHEDULE

| ITEM | MANUFACTURER | MODEL | COLOR | REMARKS |
|---|------------------|---------------|---|---------------------|
| NON-VENTED STANDARD RANGE HOOD | GENERAL ELECTRIC | JN32THW | WHITE | LOCATION: N/A |
| NON-VENTED STANDARD ADA COMPLIANT RANGE HOOD | AIR KING | ES-ADA SERIES | ADA COMPLIANT WITH INTEGRAL REMOTE OPERATION WALL MOUNTED SWITCH. LOCATION: ALL UNITS | |
| FREE-STANDING ELECTRIC RANGE W/ STANDARD CLEAN OVEN | GENERAL ELECTRIC | JB450DRW | COLOR: WHITE ON WHITE SIZE: 36"-1/4" HIGH X 31-1/4" WIDE X 21-1/2" DEEP (ADA COMPLIANT) | LOCATION: ALL UNITS |
| TOP-FREEZER REFRIGERATOR | GENERAL ELECTRIC | GTH18BDW | COLOR: WHITE SIZE: 66"-5/8" HIGH X 29-1/2" WIDE X 32-1/8" DEEP (ADA COMPLIANT) 18.2 CU. FT. | LOCATION: ALL UNITS |

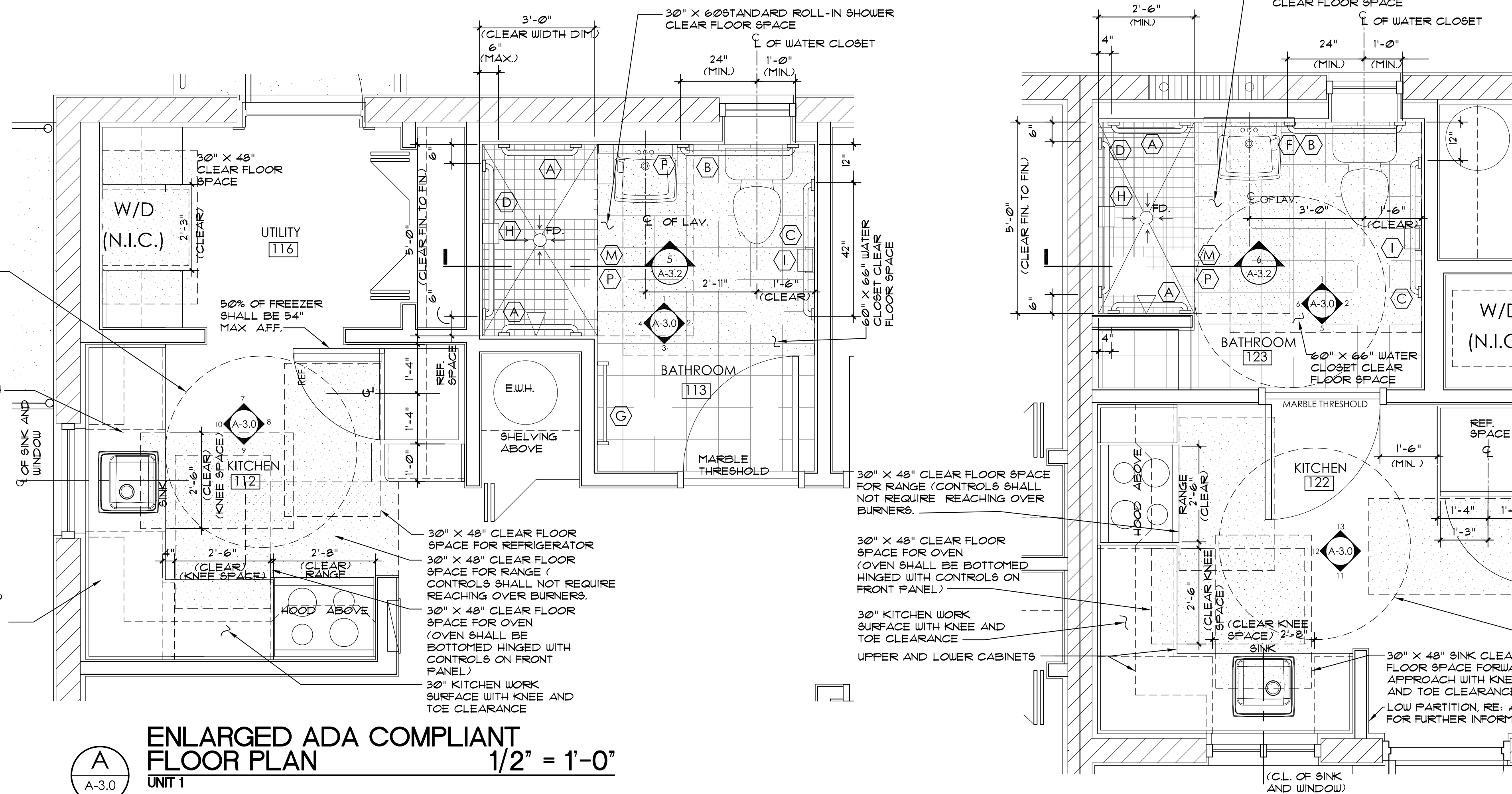
NOTES: 1. SUBMIT SHOP DRAWINGS
2. ALL APPLIANCES SHALL BE PURCHASED AND INSTALLED BY THE GENERAL CONTRACTOR.

BATHROOM ACCESSORIES SCHEDULE

| ITEM | DESCRIPTION | MANUFACTURER | MODEL | REMARKS |
|------|---|-------------------|-------------|---|
| (A) | 24" STAINLESS STEEL GRAB BAR | BOBRICK | B-5806 x 24 | |
| (B) | 36" STAINLESS STEEL GRAB BAR | BOBRICK | B-5806 x 36 | |
| (C) | 42" STAINLESS STEEL GRAB BAR | BOBRICK | B-5806 x 42 | |
| (D) | 48" STAINLESS STEEL GRAB BAR | BOBRICK | B-5806 x 48 | |
| (E) | NECESSED STAINLESS STEEL RECESSIBLE CABINET W/ MIRROR | BOBRICK | B-391 | |
| (F) | TILT MIRROR W/ STAINLESS STEEL FRAME | BOBRICK | B-293 2436 | ADA COMPLIANT |
| (G) | 24" CERAMIC TOILET BAR | DALTILE | BA130 | COLOR: ARCTIC WHITE |
| (H) | CERAMIC SOAP DISH | DALTILE | BA125 | COLOR: ARCTIC WHITE |
| (I) | CERAMIC TOILET PAPER HOLDER | DALTILE | BA111 | COLOR: ARCTIC WHITE |
| (J) | 18" CERAMIC TOILET BAR | DALTILE | BA130 | COLOR: ARCTIC WHITE |
| (K) | 30" X 60" CURB W/ BARRIER FREE CURB W/ CONCEALED MOUNTING | BOBRICK | B-201 x 60 | CUT ROD TO FIT OPENING |
| (L) | 30" X 60" TUB | AMERICAN STANDARD | 3331202 | CUT ROD TO FIT OPENING |
| (M) | COLLAPSIBLE WATER DAM | KR SPECIALTIES | CUR - 66 | CUT BARrier FREE DAM AS REQUIRED TO FIT OPENING |

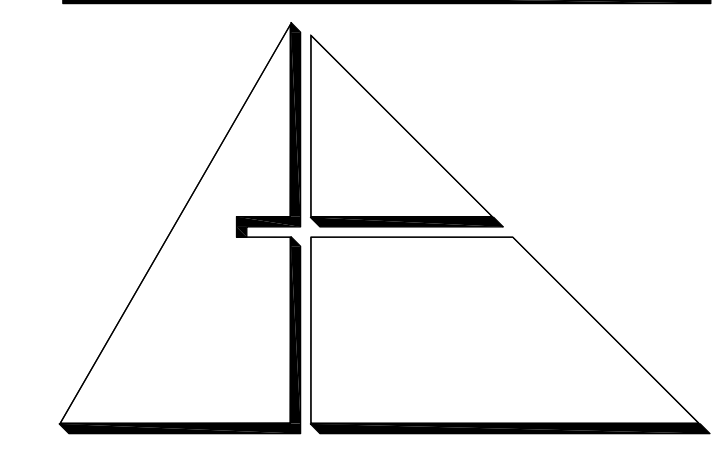
GENERAL BATHROOM NOTES:

- PROVIDE IN-PARTITION 6" X 18 GAUGE GALVANIZED STEEL BACKER PLATE FOR ALL ACCESSORIES ANCHOR POINTS. PLATES SHALL SPAN BETWEEN TWO (2) STUDS, MIN.
- AT STANDARD (NON ADA) SHOWERS, PROVIDE 4" (X) 4" POURED IN-PLACE CONG. CURB REIN. W/ (1) 3" CONT. STL. BAR. ROUGHEN EXIST. CONG. SLAB FLOOR SURFACE AREA/ TO RECEIVE CURB AND APPLY BONDING AGENT. SHOWER CURB SHALL BE SIZED TO ALLOW FOR THE INSTALLATION OF 4" FULL (UNQTY) CERAMIC TILES AT BOTH SIDES AND TOP.
- ALL BATHROOMS SHALL BE PROVIDED WITH TOILET SEAT, SHOWER CURTAIN, ROD AND HOOKS AND WATER CLOSET SEAT - AS MFRD. BY BOBRICK. ADA SHOWERS SHALL BE PROVIDED BY COLLAPSIBLE WATER DAM AS MFRD. BY BARRIER FREE ARCHITECTURALS, INC
- SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- ALL EXPOSED PIPES IN KNEE SPACES SHALL BE PROTECTED WITH SOFT ADA UNDER SINK/ LAVATORY PROTECTOR/ INSULATION AS MANUFACTURED BY HANDEY SHIELD MAX.
- STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED AND OR SHALL BE A MINIMUM OF 20 GA. STUDS SHALL BE RIGIDLY CONNECTED AT TOP AND BOTTOM. BACKER PLATES SHALL BE PROVIDED AS A SUPPORT / FASTENER SURFACE FOR ALL WALL HUNG ITEMS AND SHALL BE GALVANIZED STEEL, 18 GA. (MIN) AND SHALL BE SECURELY FASTENED TO NOT LESS THAN TWO (2) STUDS.



A ENLARGED ADA COMPLIANT FLOOR PLAN
UNIT 1

B ENLARGED ADA COMPLIANT FLOOR PLAN
UNIT 2



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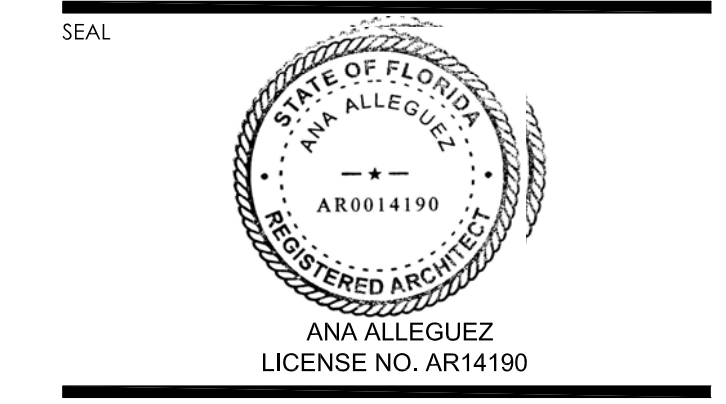
PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

Owner's Representative:
Lori B. Soto
City of Miami
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(305) 416-2084
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DRAWING TITLE:

INTERIOR ELEVATIONS
ENLARGED PLANS &
CABINET DETAILS



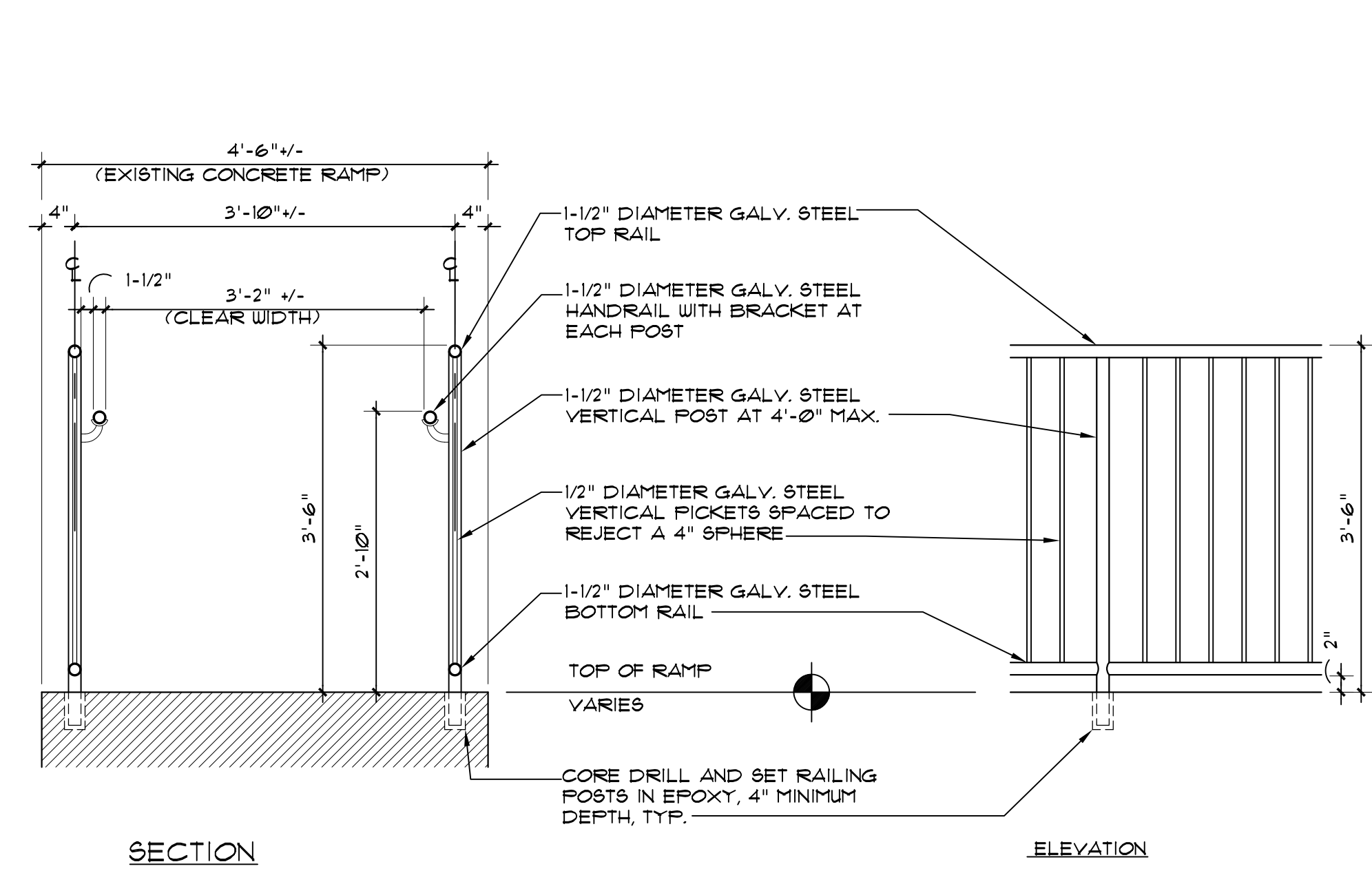
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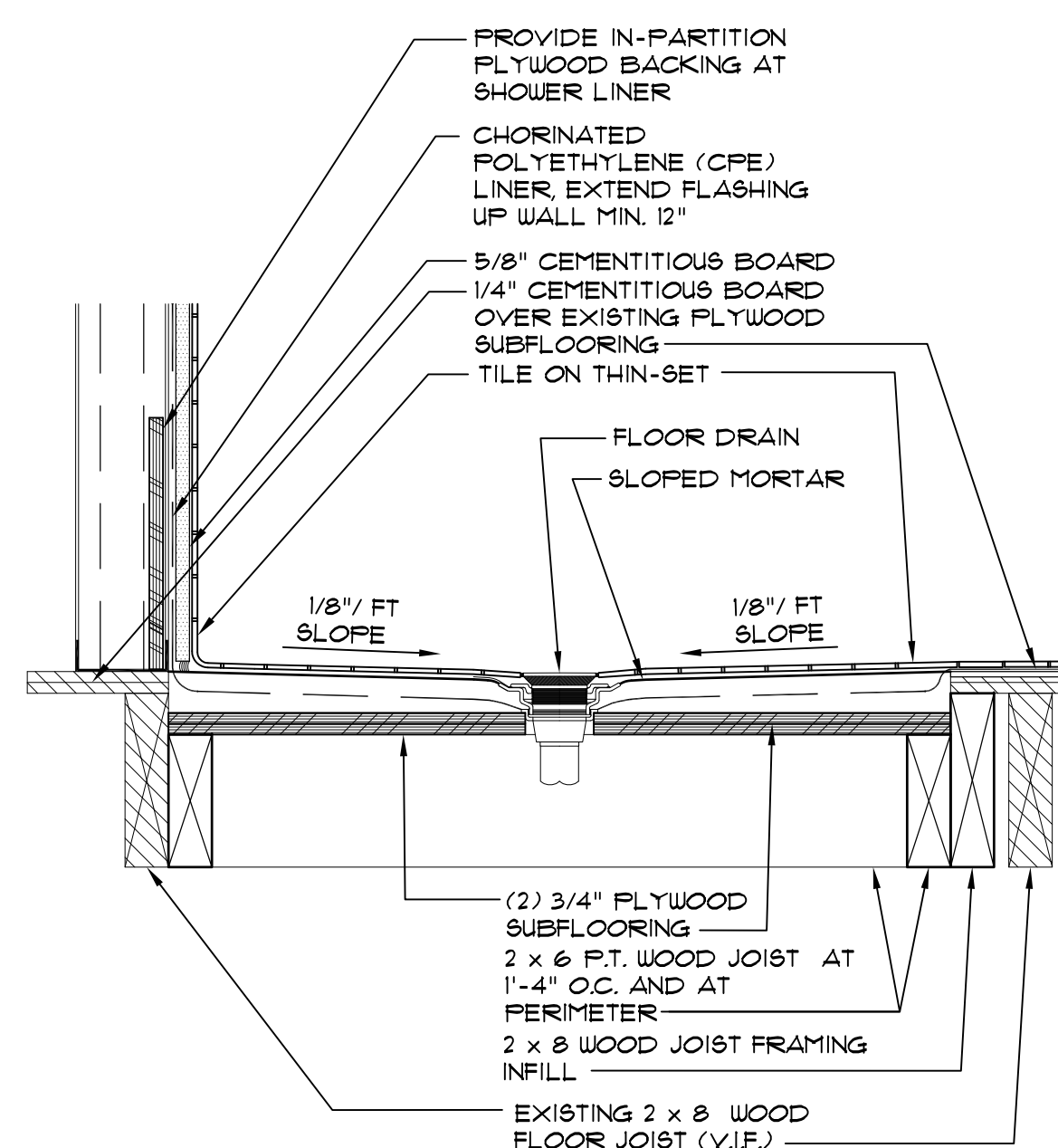
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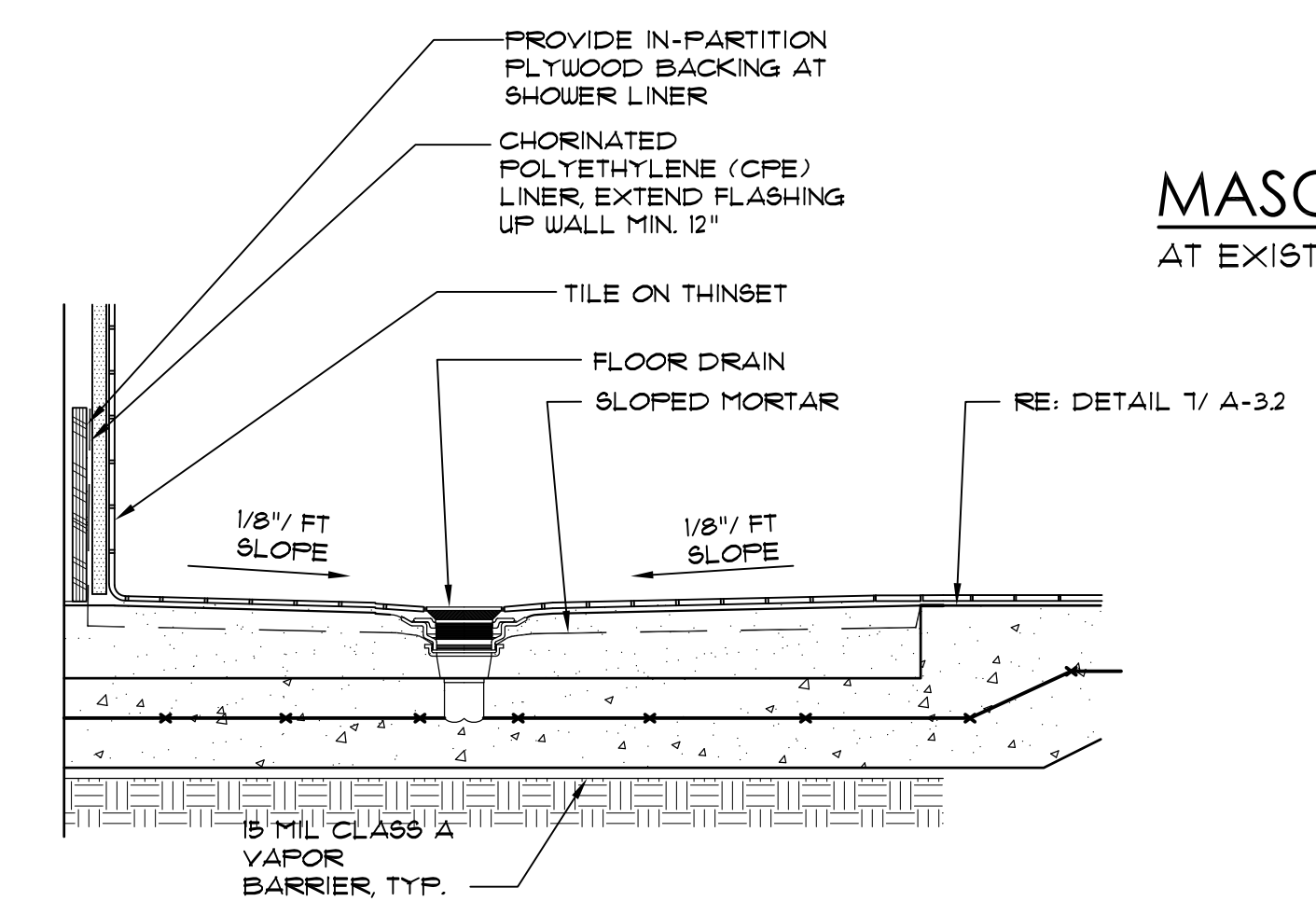
A-3.0



1 GUARDRAIL DETAIL $3/4" = 1'-0"$
SEE RAILING NOTES ON SHEET A-20

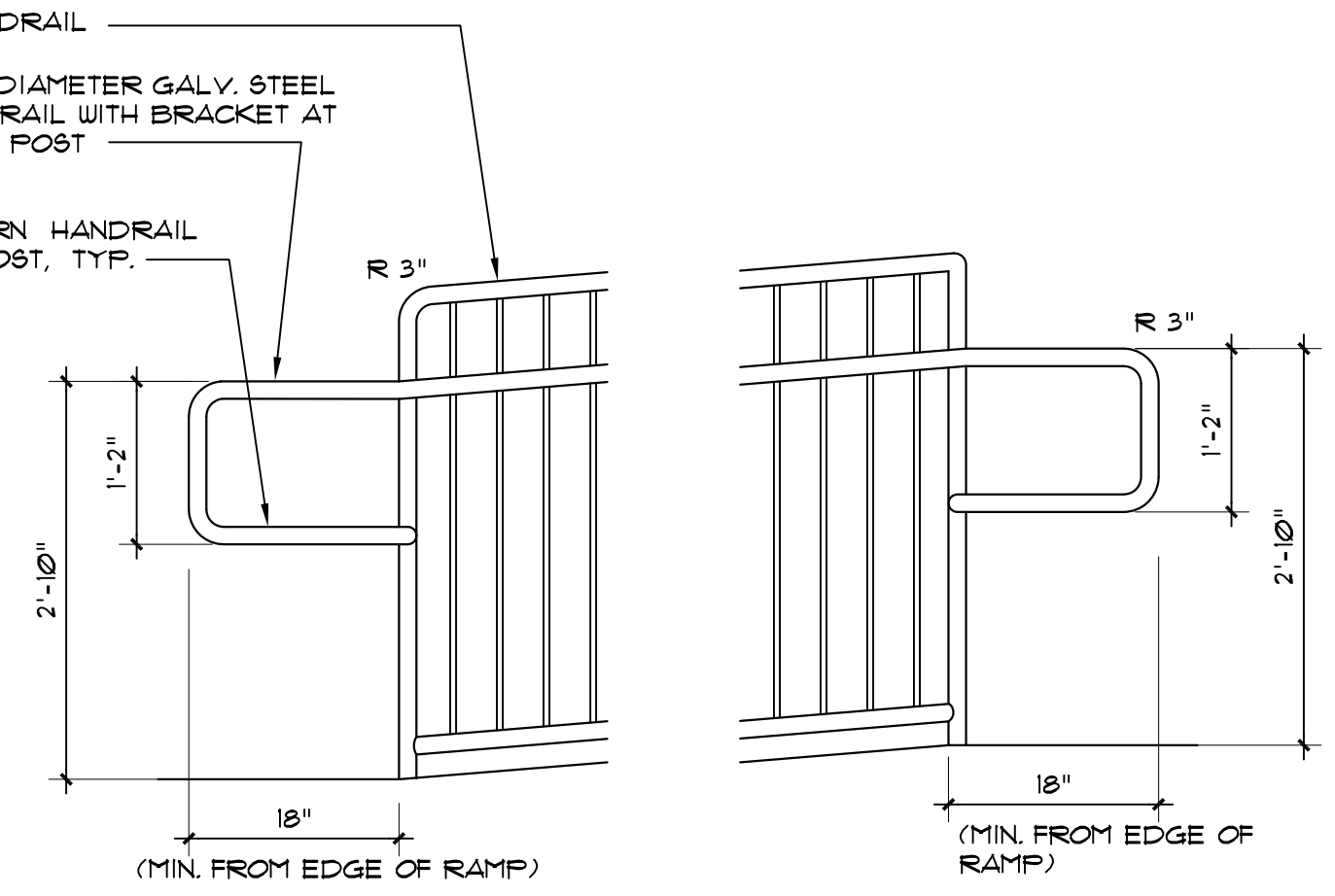


5 SHOWER DETAIL $1" = 1'-0"$
AT WOOD FLOOR

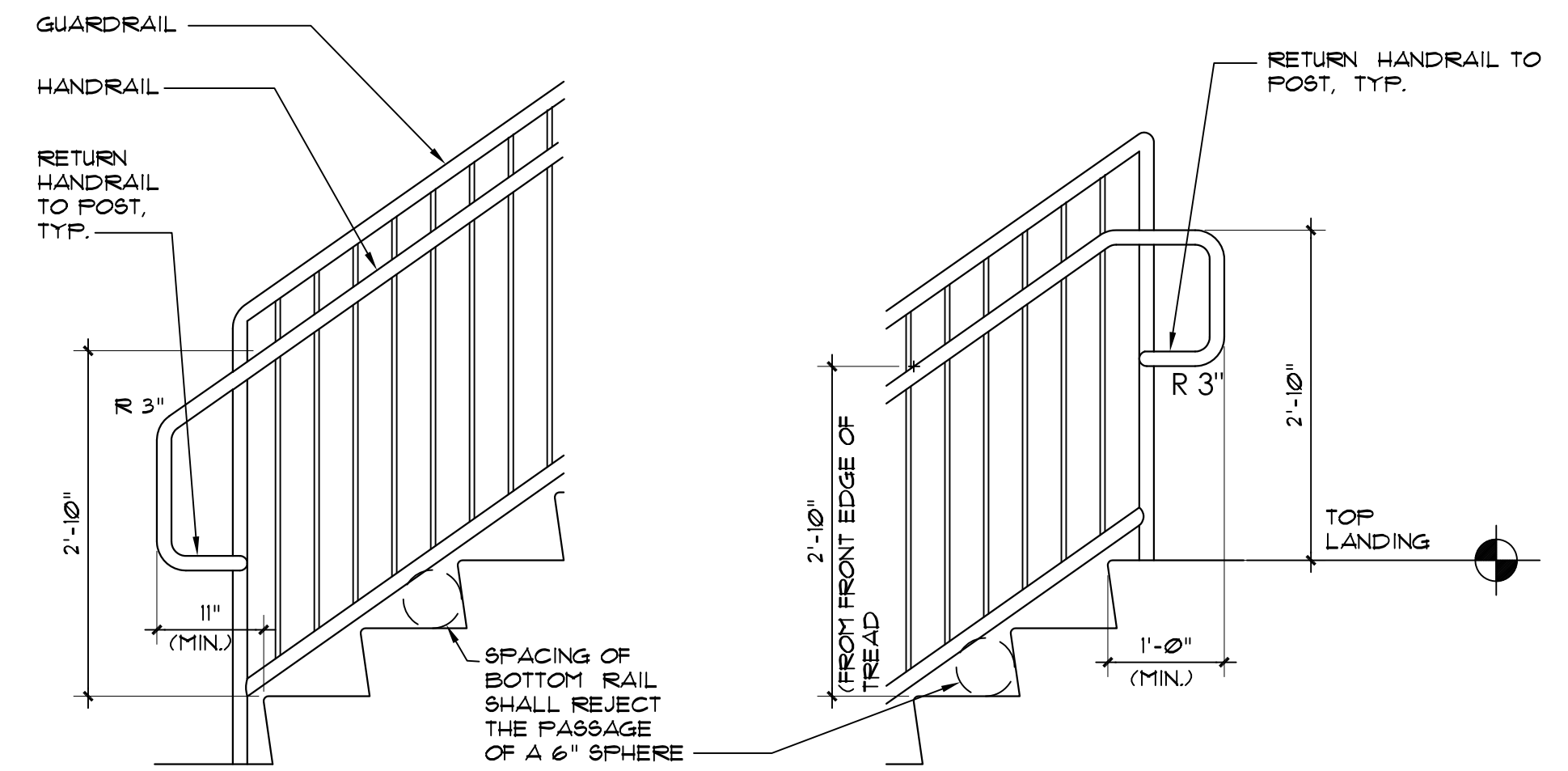


6 SHOWER DETAIL $1" = 1'-0"$
AT CONCRETE SLAB

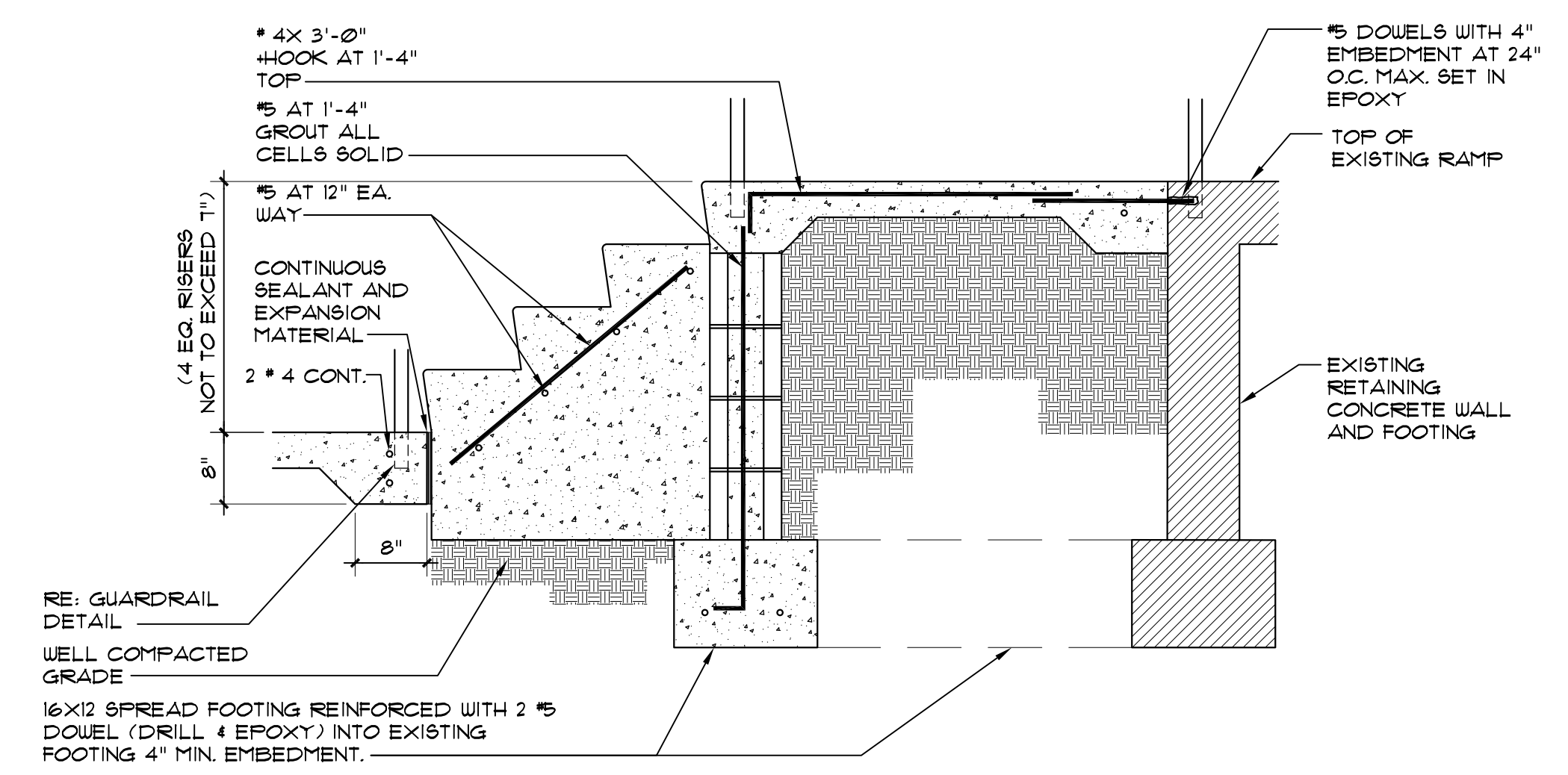
NOTES:
1. COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE
2. ALL PENETRATIONS OF THE MEMBRANE LINER (INCLUDING STAPLES AND NAILS) SHALL BE AT LEAST 1" ABOVE THE HEIGHT OF TOP OF CURB.
3. CORNERS SHALL BE MADE BY FOLDING, LAPPING, OR SOLVENT WELDING WITH APPROVED MATERIAL.
4. JOINTS AND SEAMS OF MEMBRANE LINER SHALL BE MADE USING MATERIALS APPROVED BY THE MEMBRANE MANUFACTURER.
5. CONCRETE SHALL BE 3,000 PSI, REFERENCE INFILL NOTES FOR FURTHER INFORMATION.



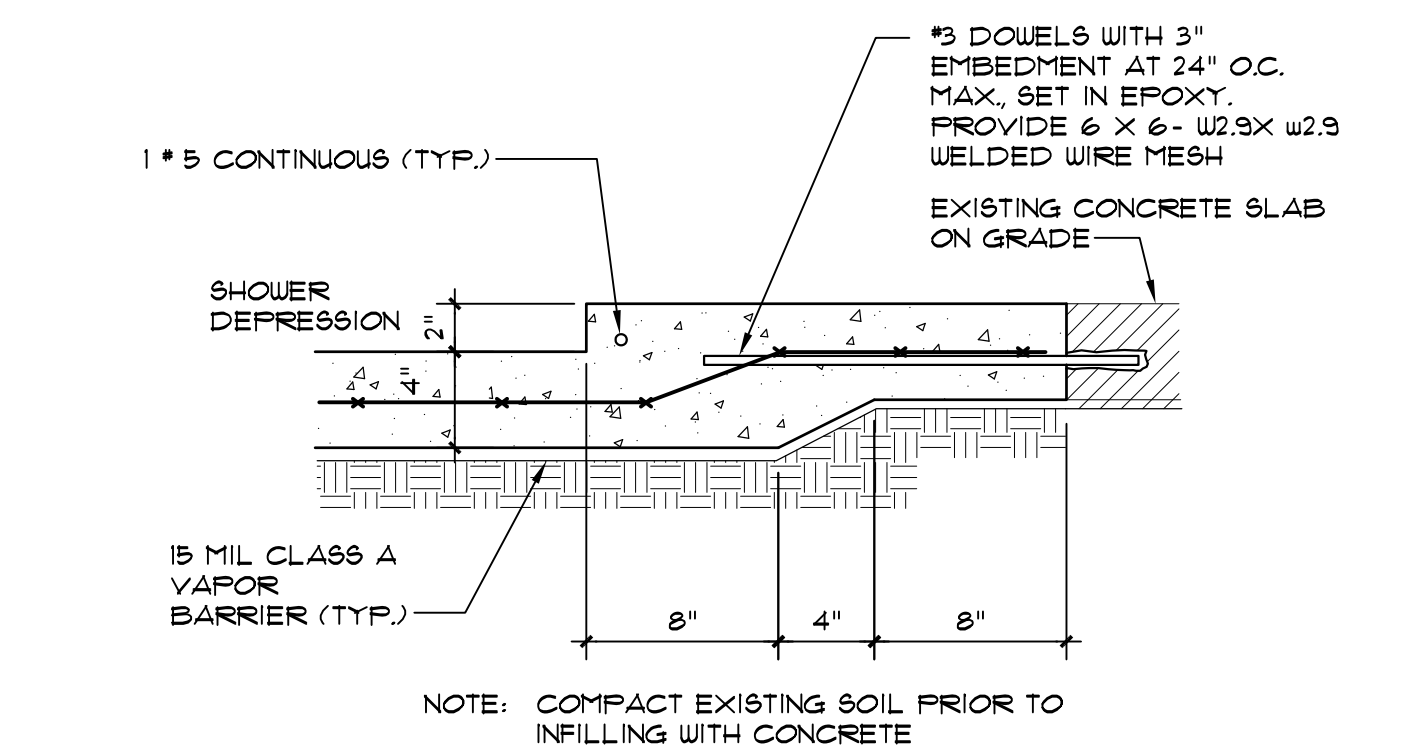
2 GUARDRAIL DETAIL $3/4" = 1'-0"$
SEE RAILING NOTES ON SHEET A-20



3 DETAIL $3/4" = 1'-0"$
SEE RAILING NOTES ON SHEET A-20

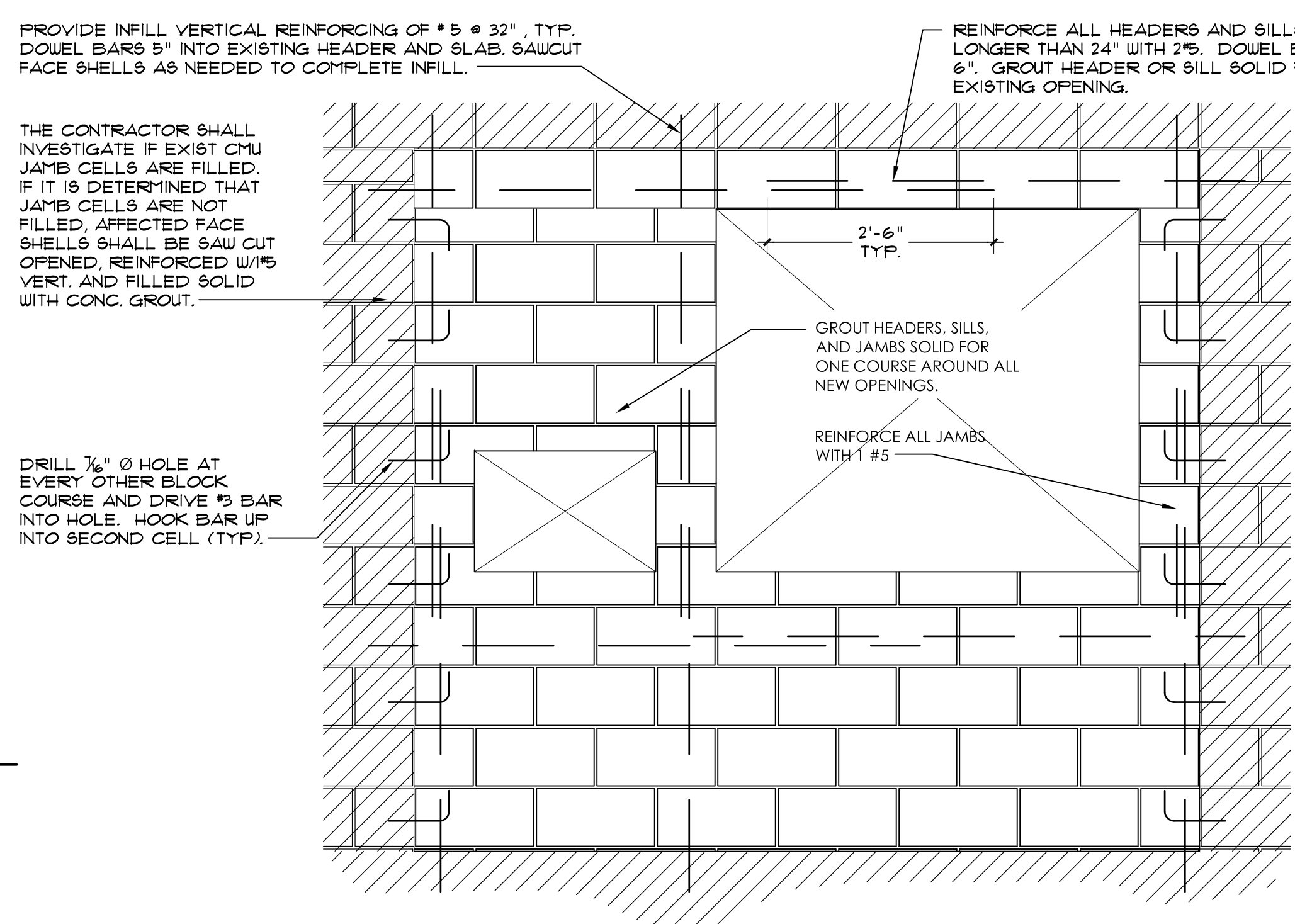


4 DETAIL $3/4" = 1'-0"$
SEE RAILING NOTES ON SHEET A-20



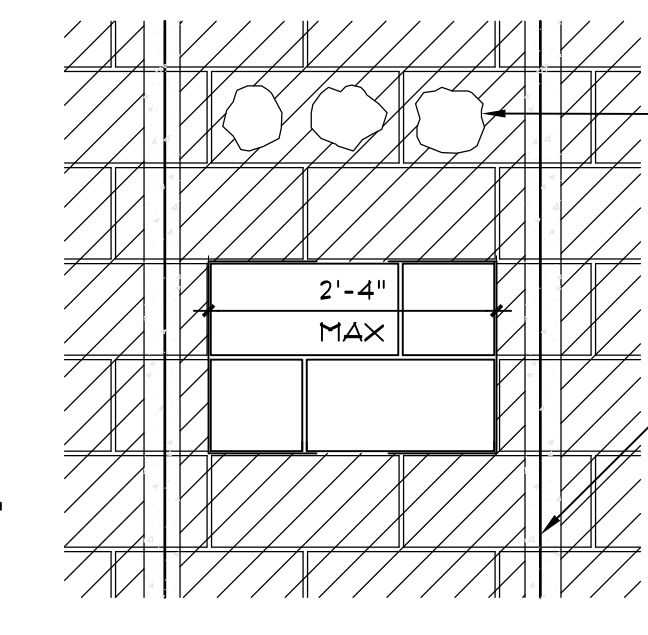
7 SHOWER SLAB DETAIL $1-1/2" = 1'-0"$
A-3.2

STRUCTURAL MASONRY TASKS



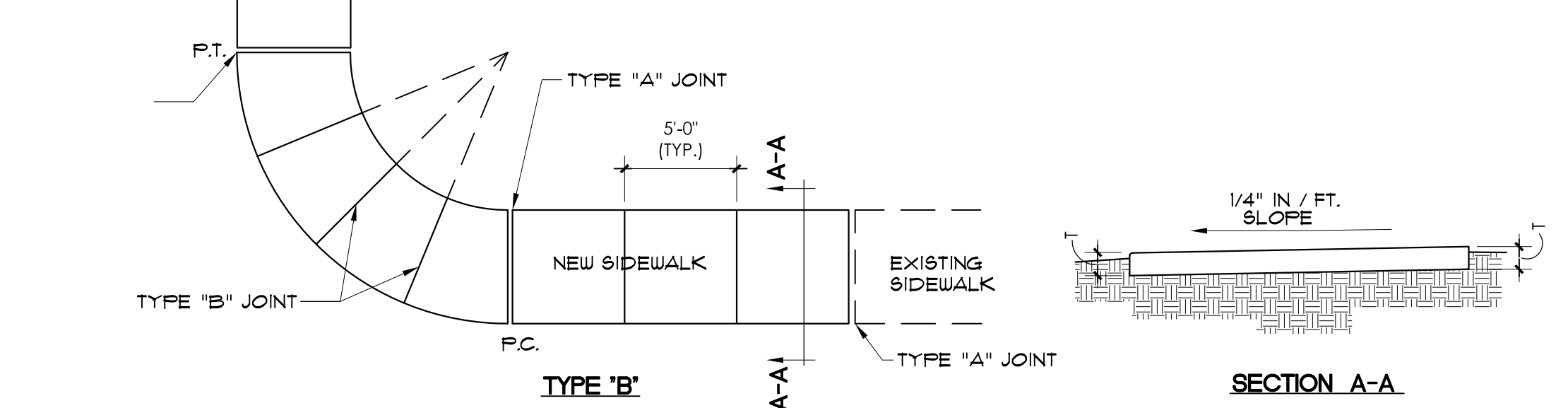
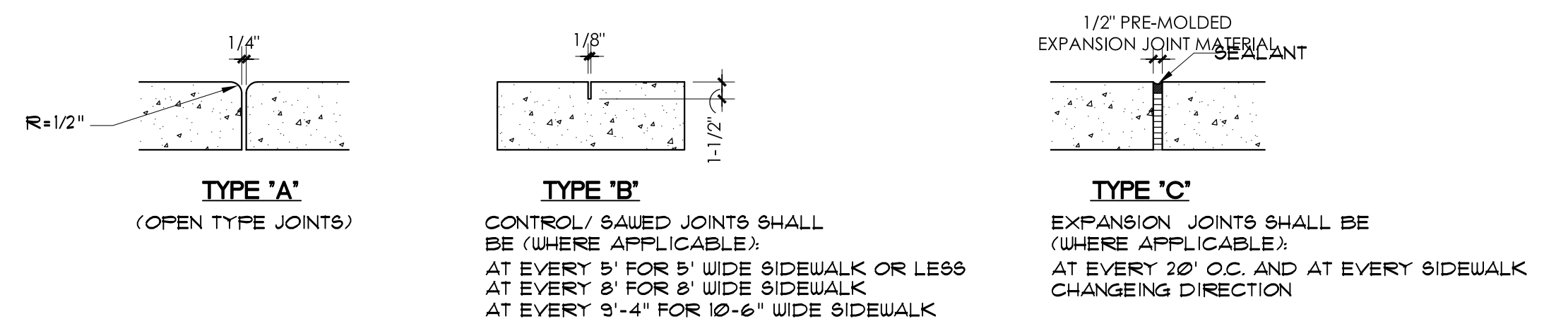
MASONRY INFILL
AT EXISTING MASONRY WALL OPENINGS

- MASONRY NOTES:**
- USE 50% SOLID NOMINAL 8X8X16 CONCRETE MASONRY UNITS CONFORMING TO ASTM C90 WITH A BLOCK NET AREA COMPRESSIVE STRENGTH OF 1900 PSI AND Fm OF 1500 PSI. DETERMINE COMPRESSIVE STRENGTH BY THE UNIT TEST METHOD OR FRISM METHOD. LAY UNITS IN RUNNING BOND. SAUCUT UNITS WHICH ARE NOT MULTIPLES OF 8" UNITS SHALL BE AT LEAST 8" LONG.
 - USE TYPE 'B' MORTAR IN ACCORDANCE WITH ASTM C270. HEAD AND BED JOINTS SHALL BE 3/8" FOR THE THICKNESS OF THE FACE SHELL. WEBS ARE TO BE FULLY MORTARED WHERE AN ADJACENT CELL IS TO BE GROUTED.
 - PROVIDE STANDARD 3-GUAGE HORIZONTAL JOINT REINFORCING IN EVERY OTHER COURSE. JOINT REINFORCING SHALL CONFORM TO ASTM A 183 CLASS B2 WITH A COATING THICKNESS OF 15 oz/sf.
 - USE FINE GROUT CONFORMING TO ASTM C-416 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. PROVIDE CLEANOUT OPENINGS AT THE BASE OF CELLS CONTAINING REINFORCING STEEL TO CLEAN THE CELL OF DEBRIS AND MORTAR CHIPS.
 - REINFORCED MASONRY WALL CONSTRUCTION SHALL BE INSPECTED BY AN ENGINEER OR ARCHITECT IN ACCORDANCE WITH ACI 530/ASCE 6.



- CONSTRUCTION SEQUENCE:**
- SAUCUT FACE SHELLS AT JAMBES AND REINFORCE.
 - BREAK FACE SHELLS ABOVE LOCATION OF NEW OPENING.
 - BLOCK UNFILLED VERTICAL CELLS BELOW THE SILL.
 - GROUT NEW JAMBES, HEADER, AND SILL.
 - SAUCUT NEW OPENING & REMOVE BLOCK.

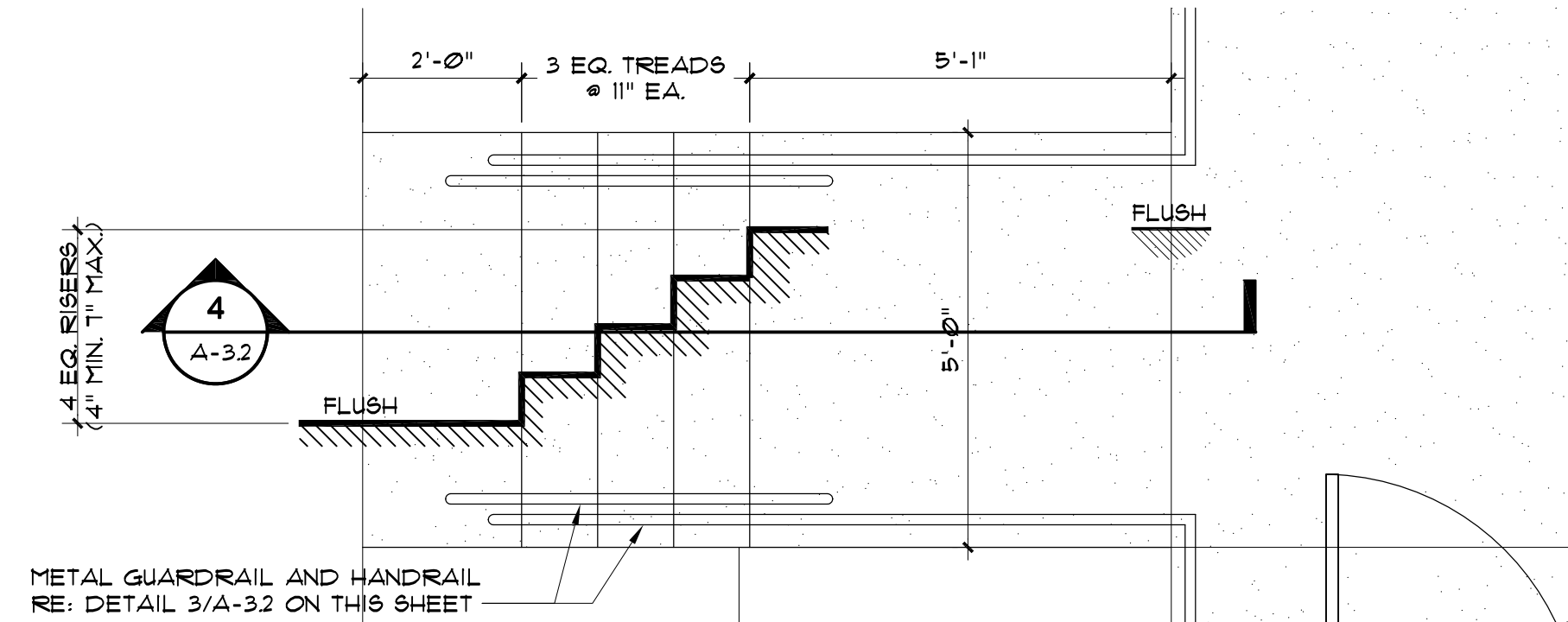
N.T.S.



| TABLE OF SIDEWALK JOINTS | |
|--------------------------|---|
| TYPE | LOCATION |
| 'A' | P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS. |
| 'B' | 5'-0" CENTER TO CENTER ON SIDEWALKS |
| 'C' | * WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES |

| TABLE OF SIDEWALK THICKNESS 'T' | |
|---------------------------------|-----|
| LOCATION | 'T' |
| RESIDENTIAL AREAS | 4" |
| AT DRIVEWAYS AND OTHER AREAS | 6" |

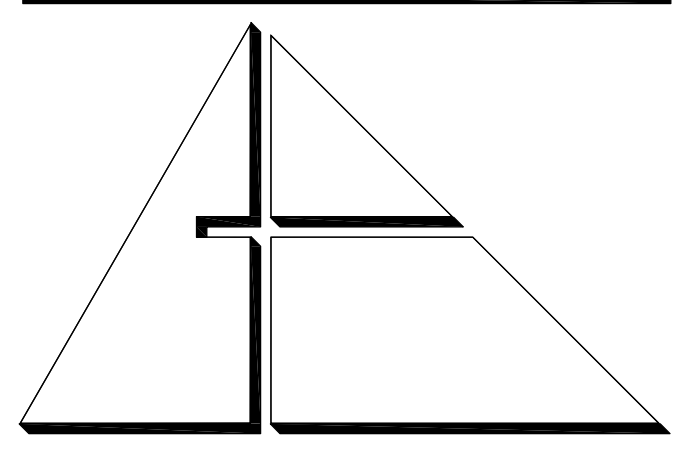
CONCRETE SIDEWALK



E STAIR PLAN DETAIL $1/2" = 1'-0"$
A-3.2

CONCRETE INFILL NOTES

- UTILITIES (PLUMBING UNDERGROUND) CONCRETE INFILL SHALL BE PERFORMED AS FOLLOWS:
 - WHEN WIDTH OF CONCRETE SLAB INFILL GREATER THAN 2'-0", PROVIDE #3 DOUVELS WITH 3" EMBEDMENT AT 24" O.C. PROVIDE 6 x 6 W2.9X W2.9 WELDED WIRE MESH AND INFILL WITH CONCRETE. TOOL AND SEAL JOINT(S). COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE.
 - WHEN WIDTH OF CONCRETE SLAB INFILL LESS THAN 2'-0", ROUGHEN SIDES AND INFILL WITH CONCRETE. PROVIDE 6 x 6 W2.9X W2.9 WELDED WIRE MESH AND INFILL WITH CONCRETE. TOOL AND SEAL JOINT(S). COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE.



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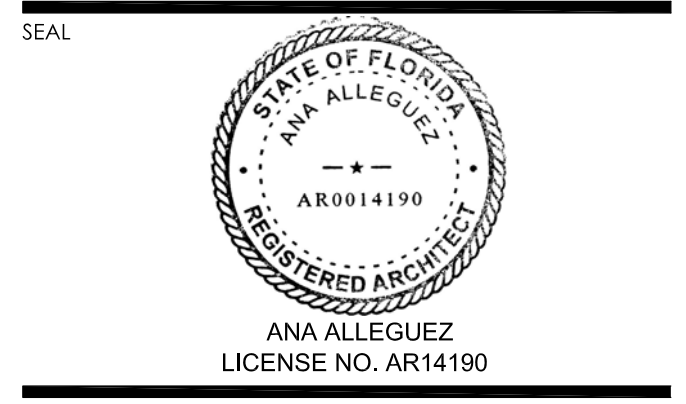
PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

ENLARGED
PLANS
AND DETAILS



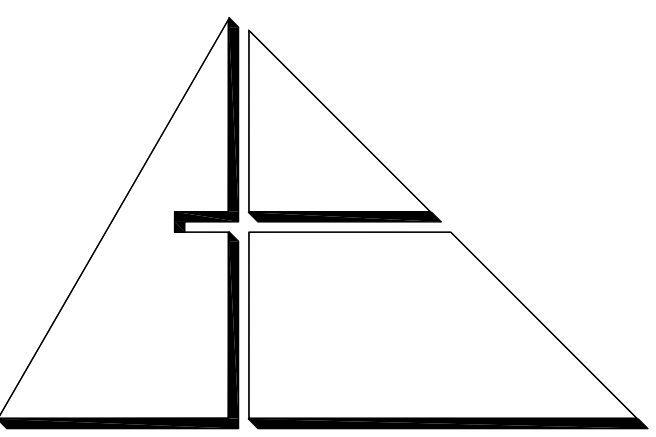
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DRAWING TITLE:

ROOF PLAN

SEAL



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LICENSE NO. AR14190

DATE: JANUARY 9TH 2017

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CAD DRAWING NAME:
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SYMBOL LEGEND

- FIBERGLASS FOUR TAB ASPHALT SHINGLES
- LOW SLOPE ROOF
- GOOSENECK VENT
- ATTIC OFF-RIDGE VENT (SEE DETAILS ON SOFFIT A-4)
- VTR VENT THROUGH ROOF

ROOF SYSTEM

- ① FIBERGLASS REINFORCED FOUR TAB ASPHALT SHINGLE ROOFING SYSTEM
 - DECK TYPE: EXISTING WOOD FLANK OR FLYWOOD SHEATHING (SEE NOTE 4)
 - UNDERLAYMENT: PRO ARMOR SYNTHETIC ROOF UNDERLAYMENT NOA # 14-1215-05
 - SHINGLE: TRUEDEFINITION DURATION AS MANUFACTURED BY OUNES CORNING ROOFING 4 ASPHALT LLC. NOA # 16-0425-01 COLOR: QUARRY GRAY
- ② GAF RUBEROID SBS MODIFIED BITUMEN (4) PLY HEAT WELD SYSTEM
 - MANUFACTURER: GAF MATERIAL CORPORATION OR APPROVED EQUIVALENT
 - NOA PRODUCT GAF 14-1030-02
 - DECK TYPE: EXISTING WOOD FLANK OR FLYWOOD (SEE NOTE 4)
 - BASE SHEET: TWO (2) GAFGLAS # 15 BASE SHEET MECHANICALLY FASTENED.
 - PLY SHEET(S): ONE (1) PLY GAF RUBEROID SBS HEAT WELD SMOOTH TORCHED APPLIED
 - CAP SHEET: ONE (1) RUBEROID SBS HEAT-WELD 110PR TORCHED APPLIED

ASPHALT SHINGLE SYSTEM WARRANTY

MANUFACTURER'S WARRANTY: PROVIDE OUNES CORNING 20 YEARS PLATINUM PROTECTION ROOFING SYSTEM LIMITED WARRANTY.
APPLICATOR'S WARRANTY: APPLICATOR SHALL PROVIDE A 2 YEARS (NO DOLLAR LIMIT) WARRANTY. SEE APPLICATOR'S WARRANTY NOTE FOR ADDITIONAL INFORMATION.

SBS MODIFIED BIT. SYSTEM WARRANTY

MANUFACTURER'S WARRANTY: PROVIDE 10 YEARS TOTAL SYSTEM, NO DOLLAR LIMIT (N.D.) COMPLETE SYSTEM WARRANTY.
APPLICATOR'S WARRANTY: APPLICATOR SHALL PROVIDE A 2 YEARS (NO DOLLAR LIMIT) WARRANTY. SEE APPLICATOR'S WARRANTY NOTE FOR ADDITIONAL INFORMATION.

ROOFING NOTES

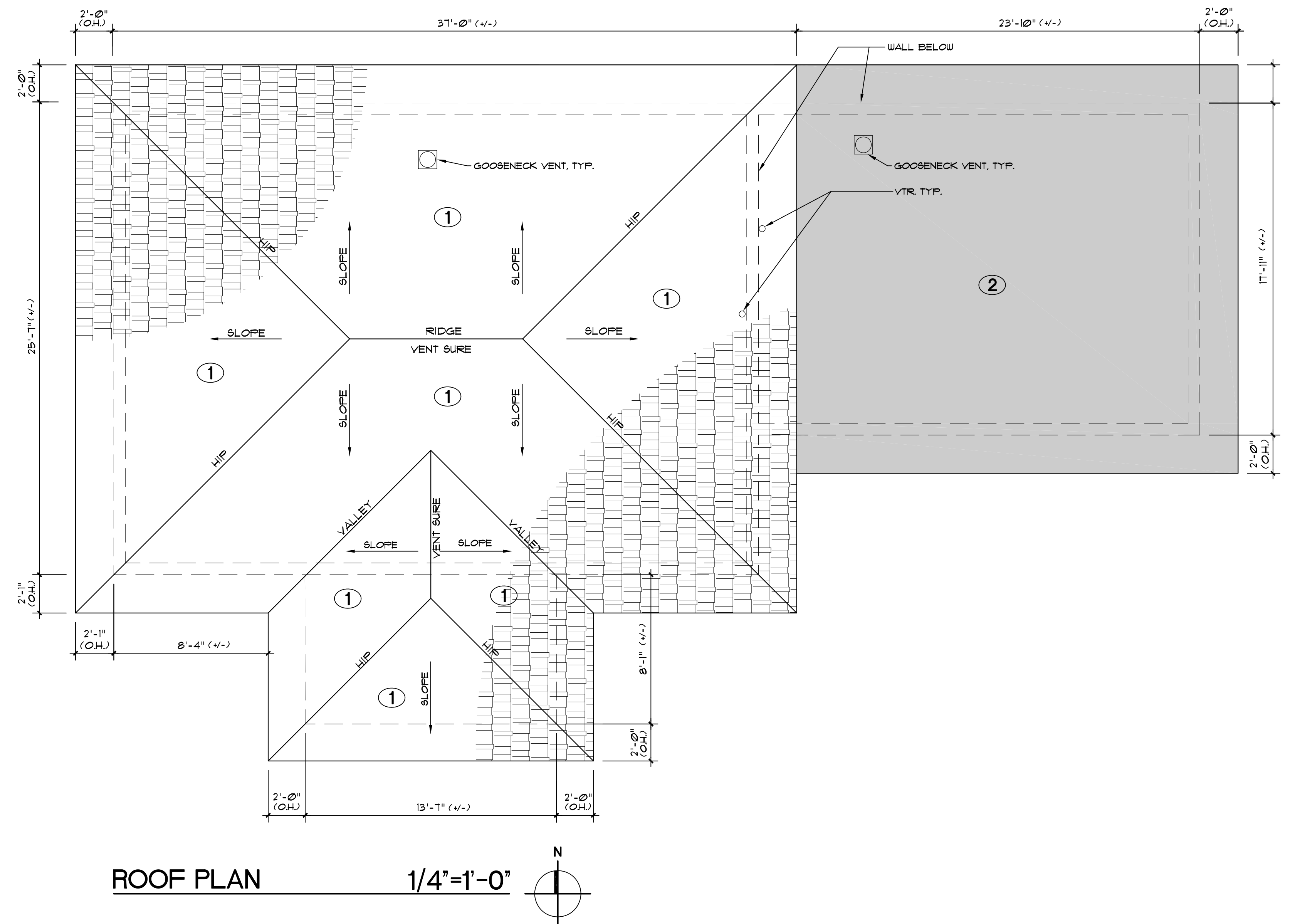
1. CONTRACTOR SHALL OBTAIN A HIGH VELOCITY ROOFING PERMIT FROM THE GOVERNING AGENCY.
2. ROOFING SYSTEM SHALL HAVE CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL, NOTICE OF ACCEPTANCE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH NRCA STEEP ROOFING MANUAL AND MANUFACTURER'S INSTALLATION REQUIREMENTS.
4. CONTRACTOR SHALL RE-NAIL WOOD DECK IN ACCORDANCE WITH THE CURRENT PROVISIONS OF CHAPTER 15 (HIGH VELOCITY HURRICANE ZONES) OF THE FLORIDA BUILDING CODE.
5. ROOFING SYSTEMS NOTED WITHIN ARE FOR BASIS AND DESIGN AND ARE SPECIFIED TO ESTABLISH PROJECT STANDARDS.
6. ROOFER MUST BE CERTIFIED BY MANUFACTURER AS APPROVED INSTALLER.
7. MANUFACTURER SHALL INSPECT ROOFING INSTALLATION AS REQUIRED TO SATISFY WARRANTY TERMS.

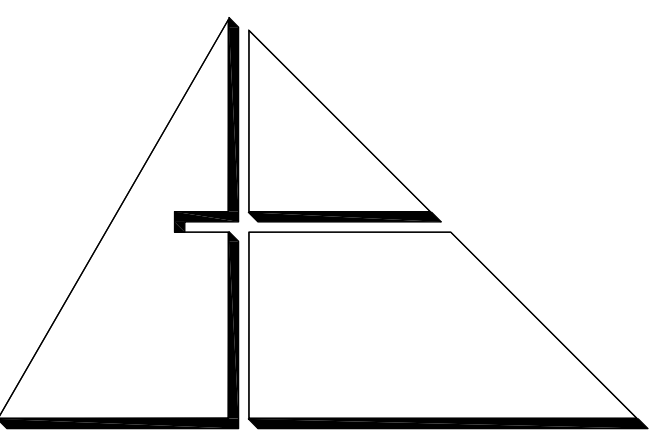
APPLICATOR'S WARRANTY NOTE:

THE ROOFING CONTRACTOR SHALL FURNISH WRITTEN WARRANTIES FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF PROJECT SUBSTANTIAL COMPLETION. THE ROOFER SHALL CERTIFY IN WRITING THAT SYSTEM HAS BEEN INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTION/NOA AND WHEREAS ROOFING CONTRACTOR HAS CONTRACTED (EITHER DIRECTLY WITH OWNER OR INDIRECTLY AS A SUBCONTRACTOR) TO WARRANT SAID WORK AGAINST LEAKS, FAULTY OR DEFECTIVE MATERIALS, ROOFING COMPONENTS DEEMED FAULTY OR IN DISREPAIR, AND WORKMANSHIP FOR THE DESIGNATED WARRANTY PERIOD. DURING THE WARRANTY PERIOD THE CONTRACTOR WILL, AT HIS/HER OWN EXPENSE, MAKE OR CAUSE TO BE MADE SUCH REPAIRS TO OR REPLACEMENTS OF SAID WORK AS ARE NECESSARY TO CORRECT FAULTY AND DEFECTIVE WORK, AND AS ARE NECESSARY TO MAINTAIN SAID WORK IN WATERTIGHT CONDITION.
ROOFING CONTRACTOR SHALL BE AN APPROVED SYSTEM MANUFACTURER APPLICATOR.

SHOP DRAWING SUBMITTAL

- SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING ROOFING SYSTEMS.
SHOP DRAWINGS SHALL INCLUDE AT A MINIMUM THE FOLLOWING:
- A. PRODUCT DATA: PROVIDE MANUFACTURER'S INFORMATION ON MEMBRANE MATERIALS, BASE FLASHING, MATERIAL AND INSULATION INCLUDING DETAILS.
 - B. CALCULATIONS: MANUFACTURER SHALL PROVIDE WIND-UP LIFT DESIGN CRITERIA PER THE FLORIDA BUILDING CODE AND ASCE-1-98. INFORMATION SHALL BE PREPARED AND CERTIFIED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.
 - C. MANUFACTURER'S CERTIFICATE: CERTIFY THAT PRODUCTS MEET OR EXCEED SPECIFIED REQUIREMENTS.
 - D. SUPPLY FLORIDA PRODUCT APPROVAL OR MIAMI DADE PRODUCT APPROVAL NOTICE OF ACCEPTANCE (NOA) APPROVAL FOR SELECTED SYSTEM.
 - E. MATERIAL SAFETY DATA SHEETS: PROVIDE MSDS FOR ALL ROOFING PRODUCTS SUBMITTED.





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PROJECT:

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Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

ROOF DETAILS

SEAL



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LICENSE NO. AR14190

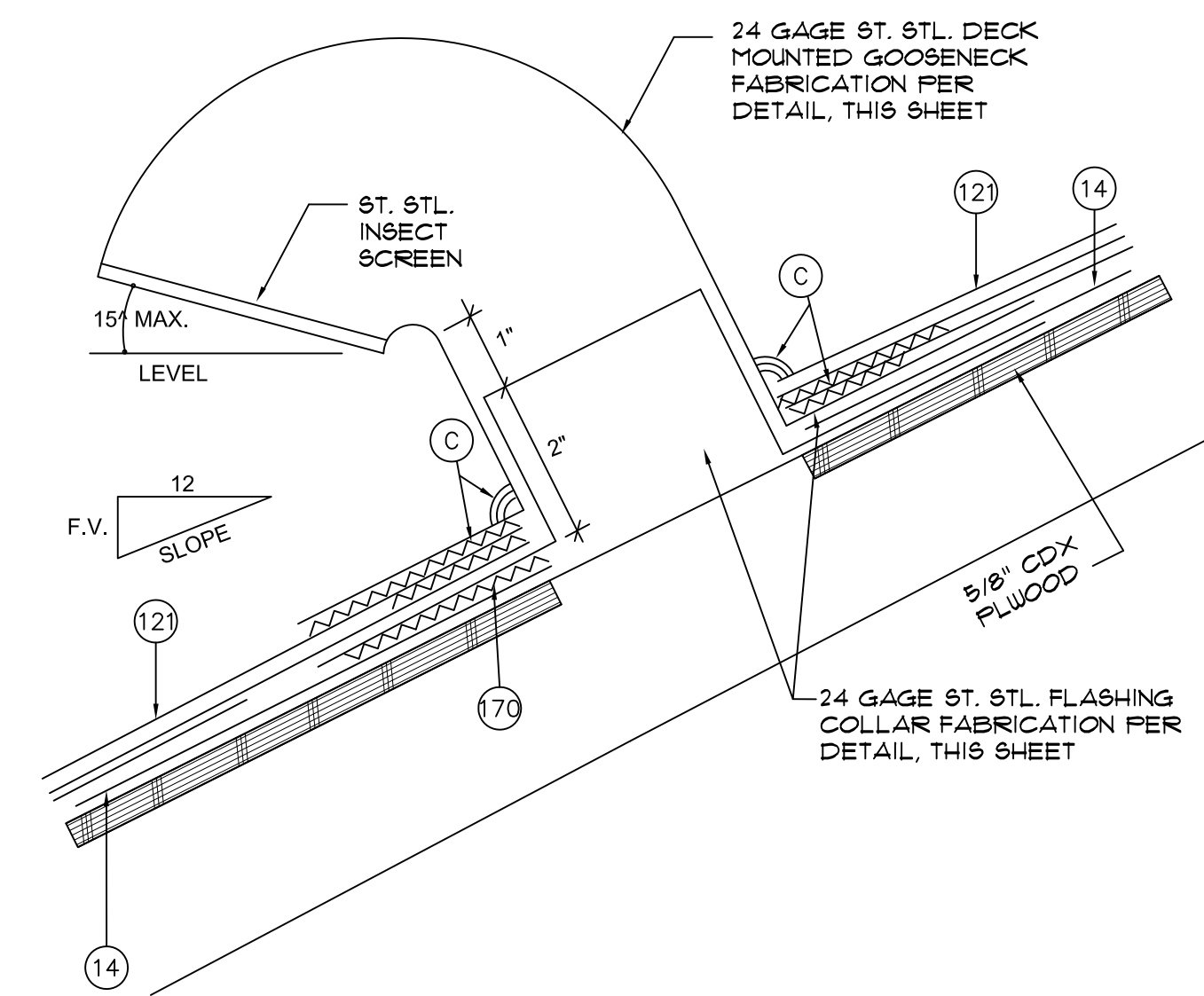
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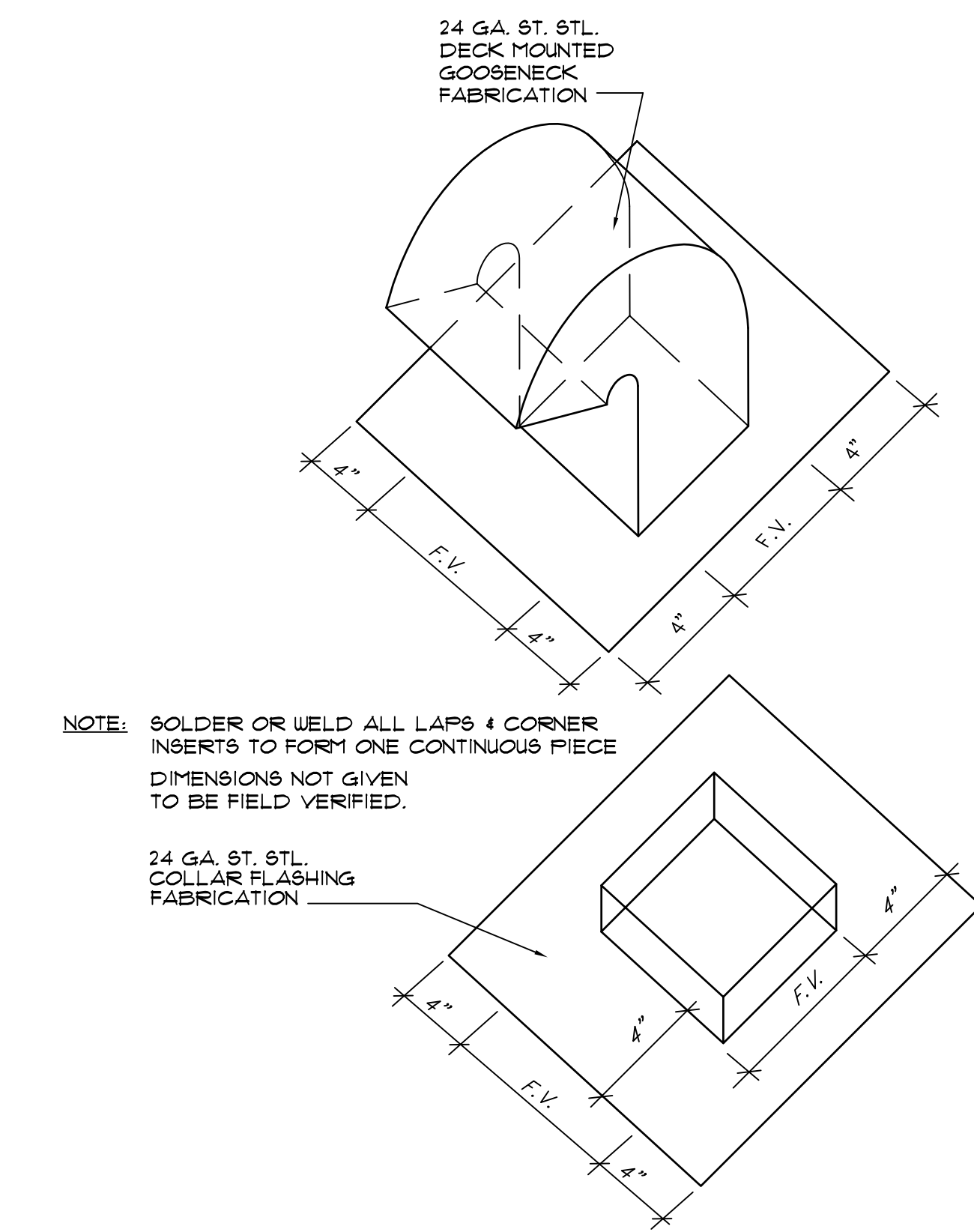
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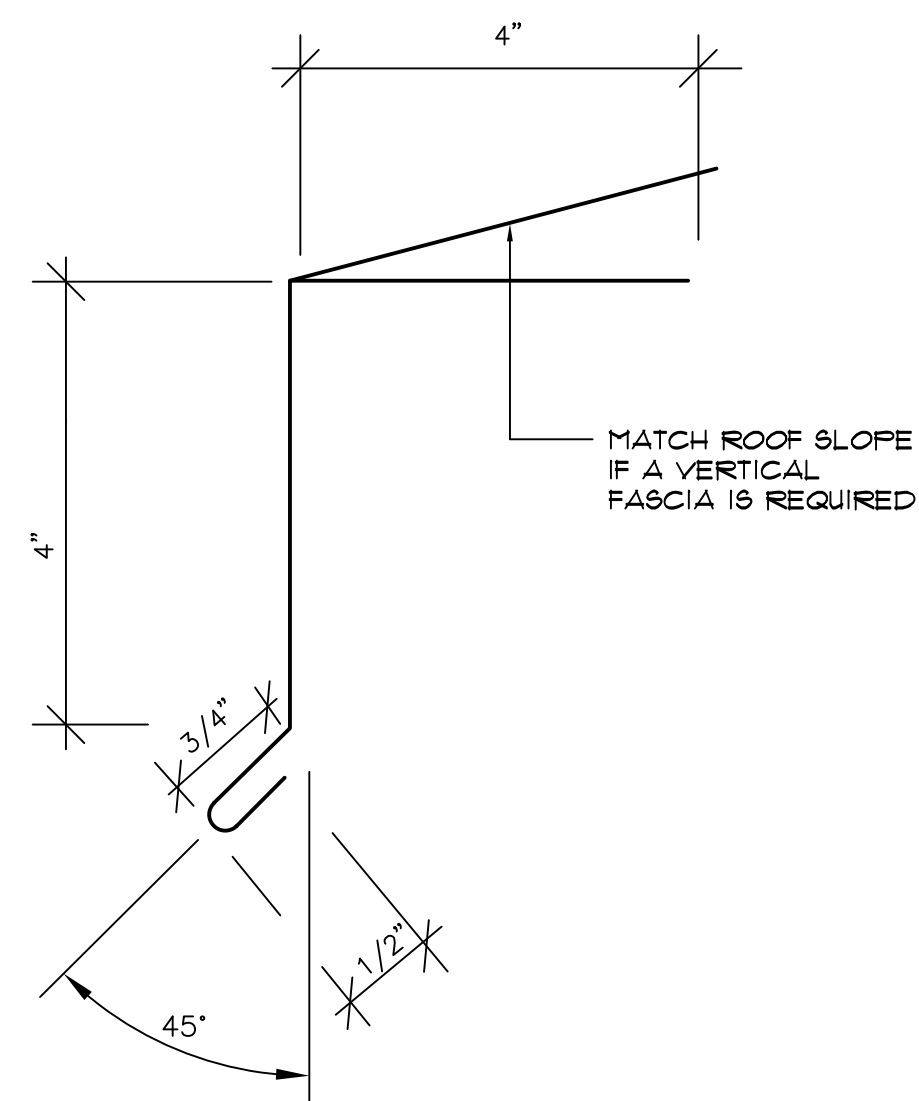
14. PRELIMINARY ROOF, SEE ROOF PLAN
121. NEW FIBERGLASS SHINGLES
170. SEALANT
C. FULL BED OF ROOFING CEMENT UNDER SHINGLES AND/OR FLASHING FLANGES.

GOOSENECK VENT FLASHING NTS

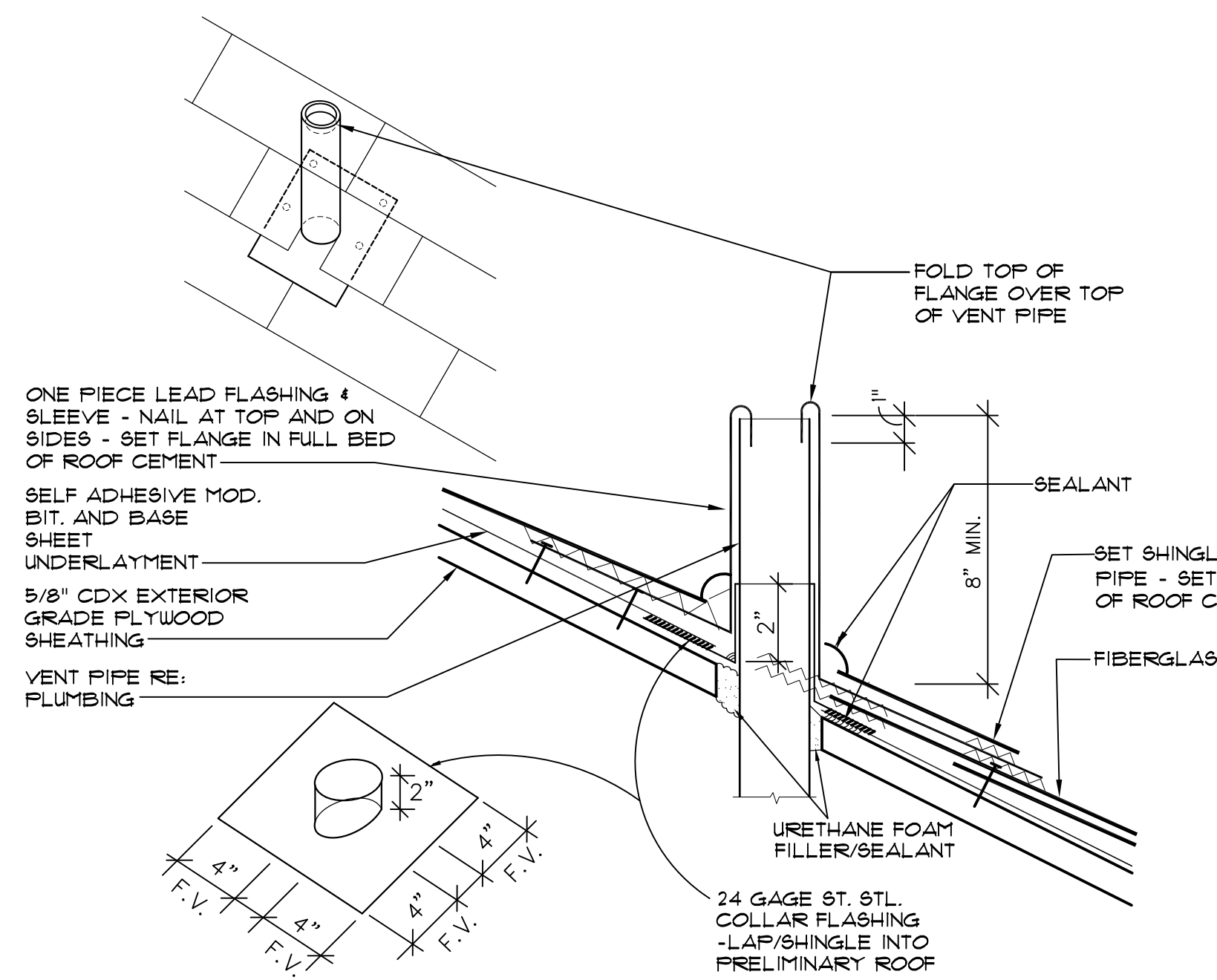


NOTE: SOLDER OR WELD ALL LAPS & CORNER INSERTS TO FORM ONE CONTINUOUS PIECE. DIMENSIONS NOT GIVEN TO BE FIELD VERIFIED.

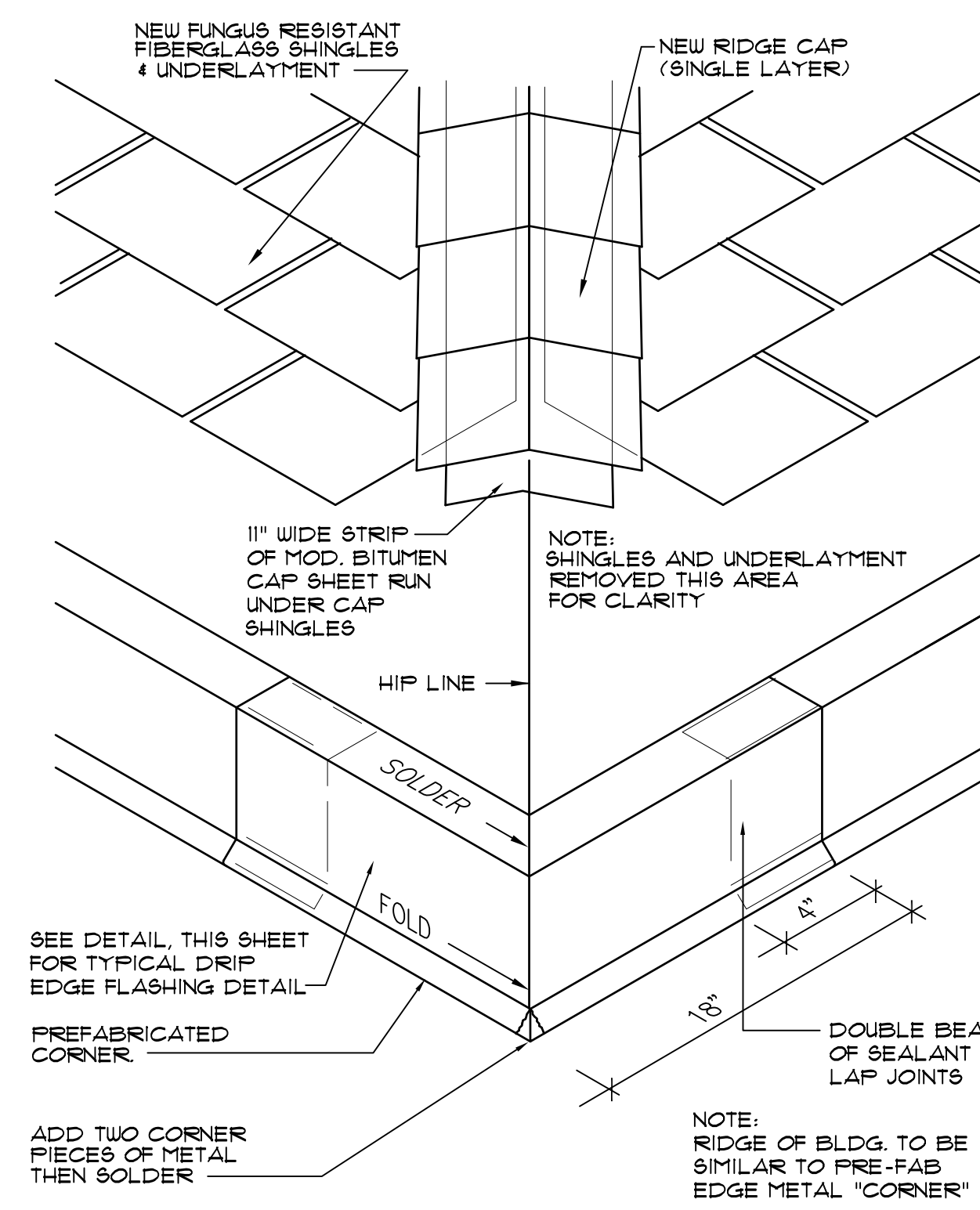
GOOSENECK VENT AND COLLAR FABRICATION DETAIL NTS



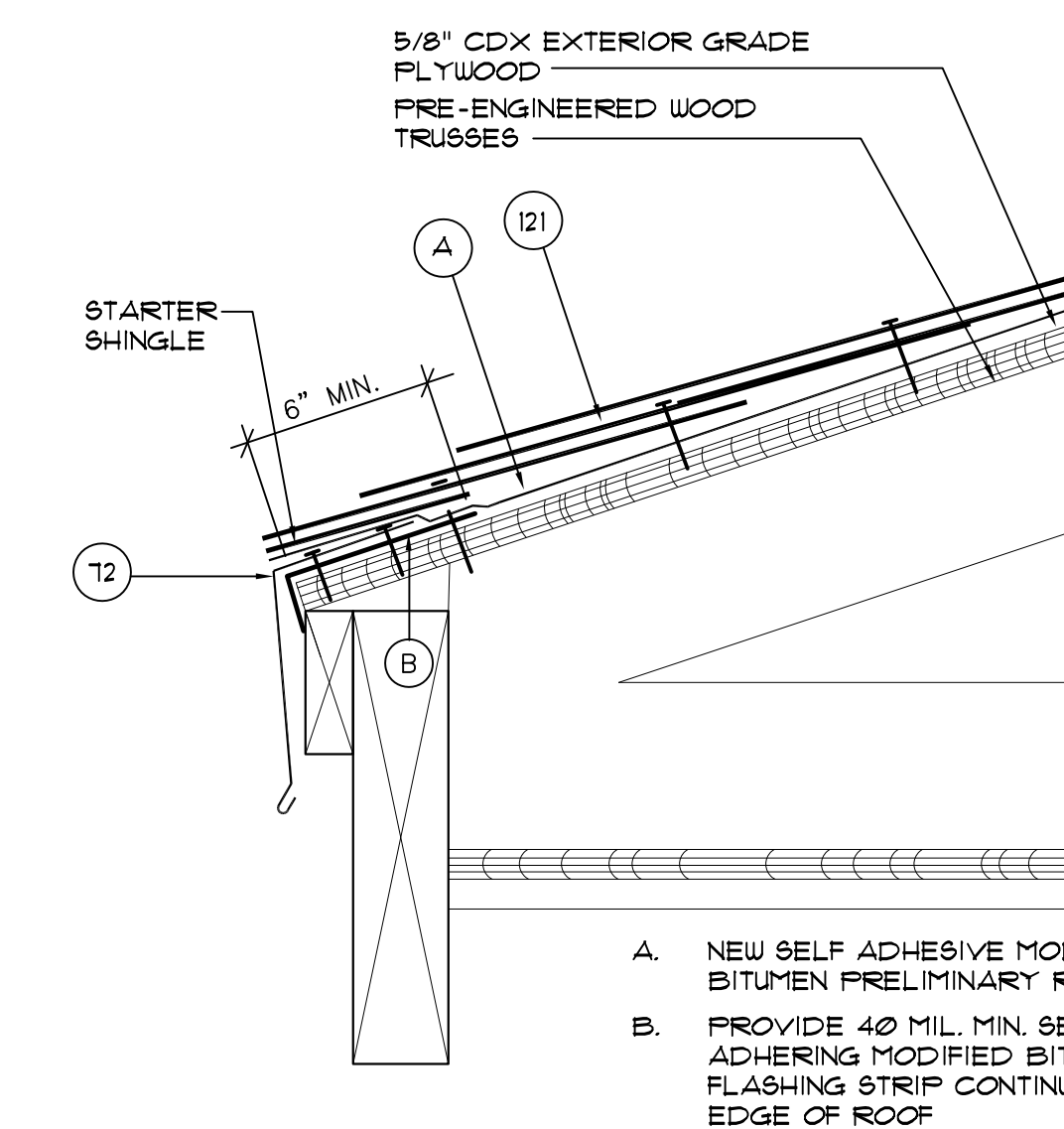
EAVE DRIP FABRICATION DETAIL NTS



VENT PIPE DETAIL NTS



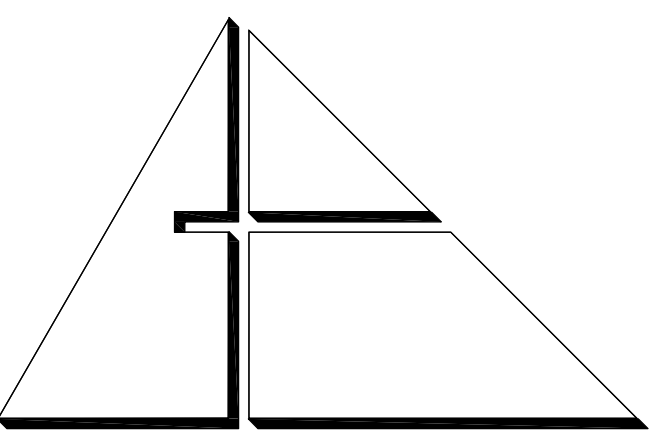
HIP RIDGE FLASHING AND CORNER EDGE METAL NTS



12. EDGE METAL - SEE DETAIL, THIS SHEET.

170. FUNGUS RESISTANT FIBERGLASS SHINGLES
NOTE: FASTENERS FOR EDGE METAL TO BE 1-1/4" RING SHANK ST. ST. ROOFING NAIL AT 4" O.C. (2 ROWS STAGGERED AT 3/4" FROM EDGE OF FLANGE.)

DRIP EDGE FLASHING NTS

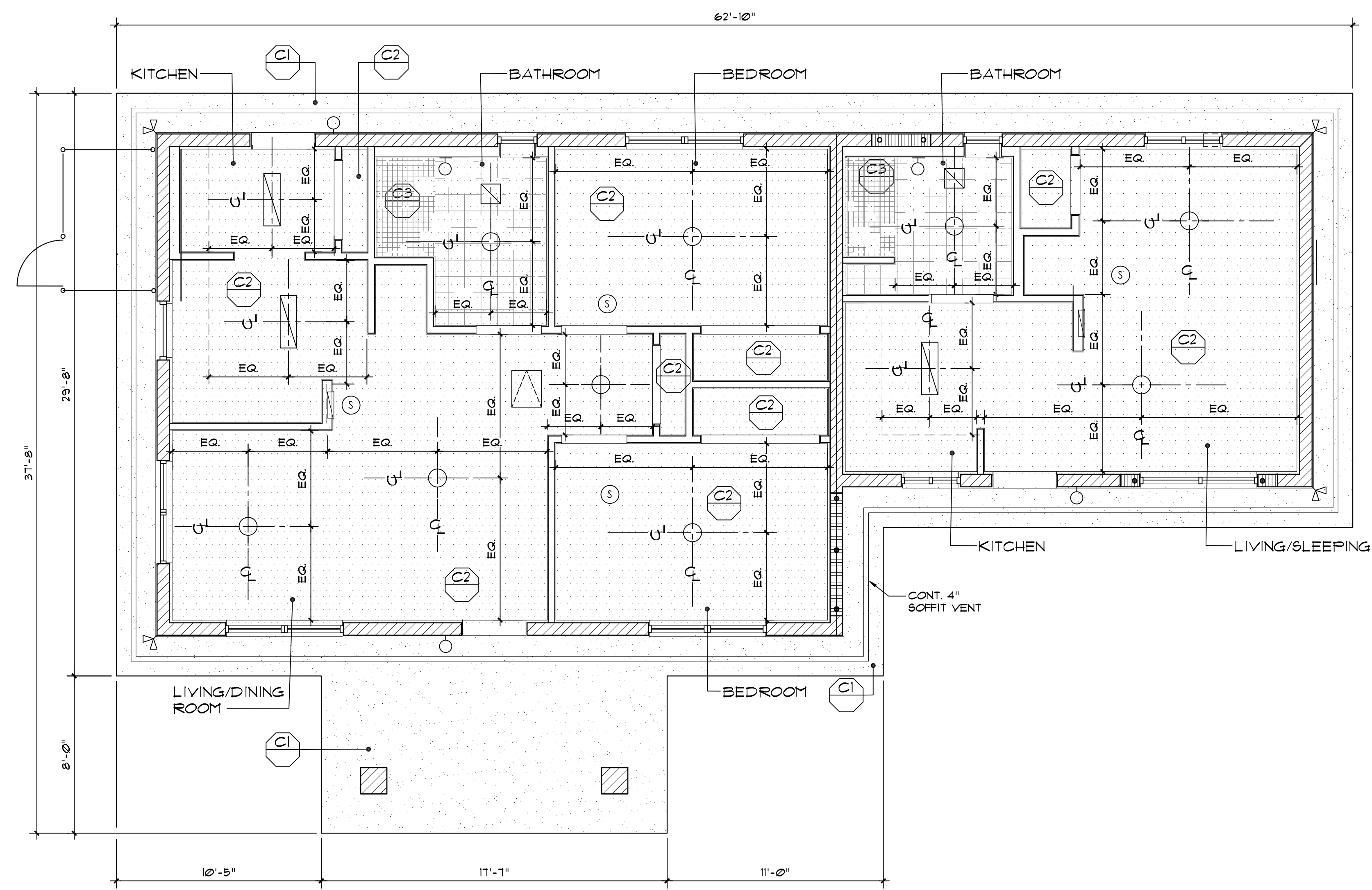


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REFLECTED CEILING PLAN

NOTE(S): 1. PROVIDE R-30 BATT INSULATION ABOVE CEILING (ALL ROOMS/AREAS)

1/4" = 1'-0"

| SYMBOL LEGEND | |
|---------------|-----------------------|
| | CEILING MOUNTED LIGHT |
| | CEILING MOUNTED LIGHT |
| | EXHAUST FAN |
| | WALL MOUNTED LIGHT |
| | WALL MOUNTED LIGHT |
| | SMOKE DETECTOR |
| | ATTIC DOOR |
| | DRYWALL CEILING |
| | PLASTER/STUCCO |
| | BATHROOM EXHAUST |

| CEILING LEGEND | |
|----------------|---|
| | PRIMED AND PAINTED STUCCO OVER GALVANIZED METAL LATH ON 15-LB ROOFING FELT OVER 1/2" CDX PLYWOOD SHEATHING OVER EXISTING WOOD TRUSSES |
| | PRIMES AND PAINTED 1/2" GYPSUM WALL BOARD OVER 3/4" METAL FURRING AT 1'-4" O.C. MECHANICALLY FASTENED TO TRUSSES. |
| | 1/2" MOISTURE RESISTANT GYPSUM |

ATTIC ACCESS SPECIFICATION

MANUFACTURED: BATTIC DOOR ENERGY CONSERVATION PRODUCTS OR APPROVED EQUIVALENT.
MODEL: DELUXE E-2 HATCH ATTIC ACCESS SCUTTLE DOOR
R-42
SIZE: 22" X 30" (FITS INTO 22 1/2" X 30 1/2" ROUGH OPENING)
NOTE: ATTIC ACCESS DOOR SHALL BE PROVIDED WITH 4-POINT LOCKING LATCH + HANDLES

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444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

REFLECTED
CEILING PLAN

SEAL



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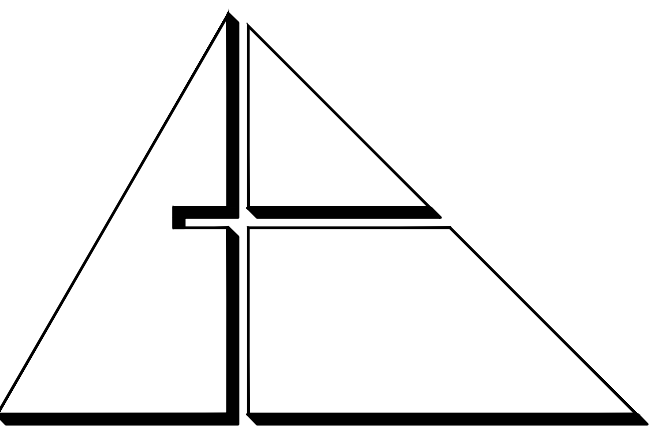
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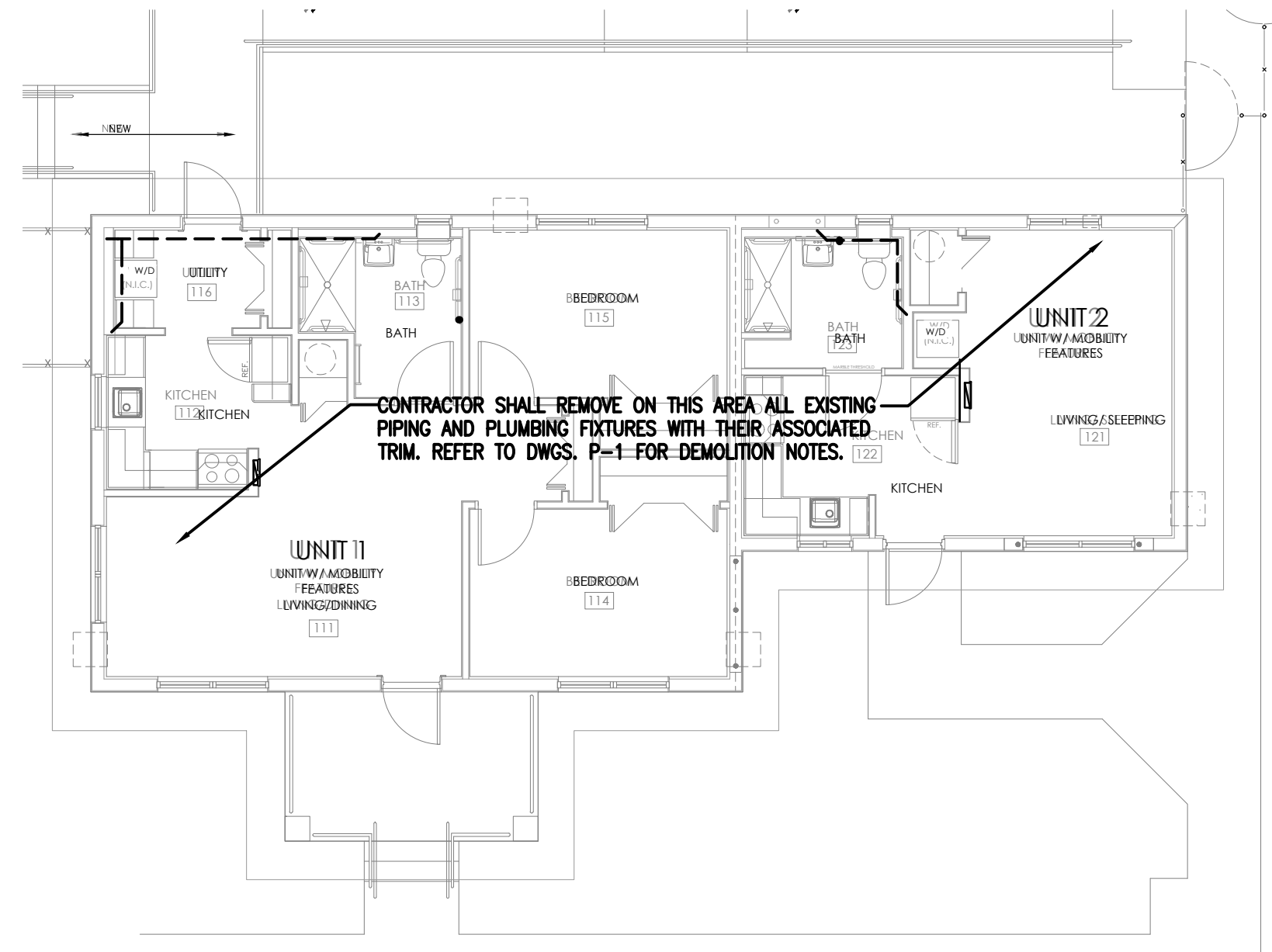
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MECHANICAL ELECTRICAL PLUMBING ENGINEER:

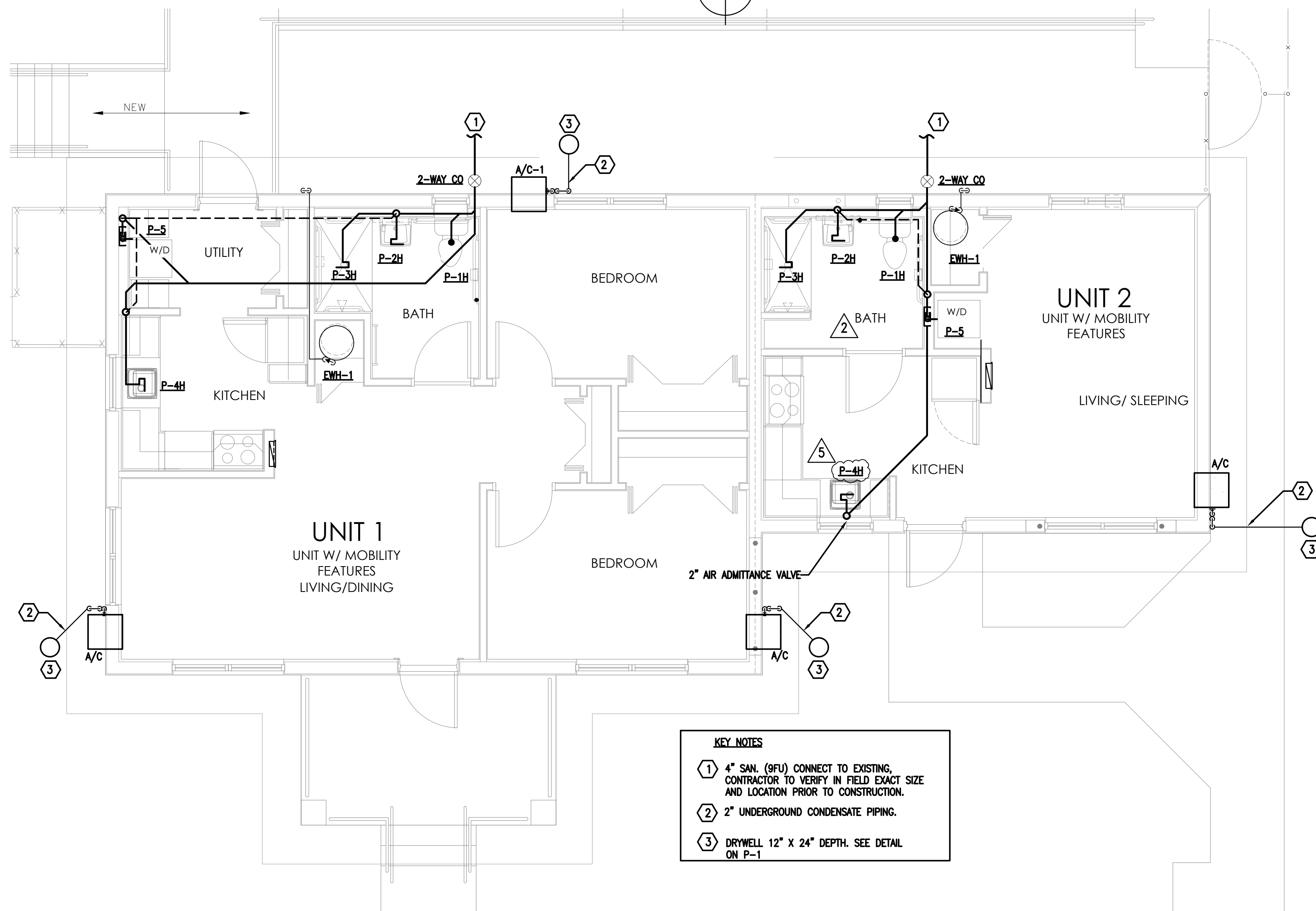
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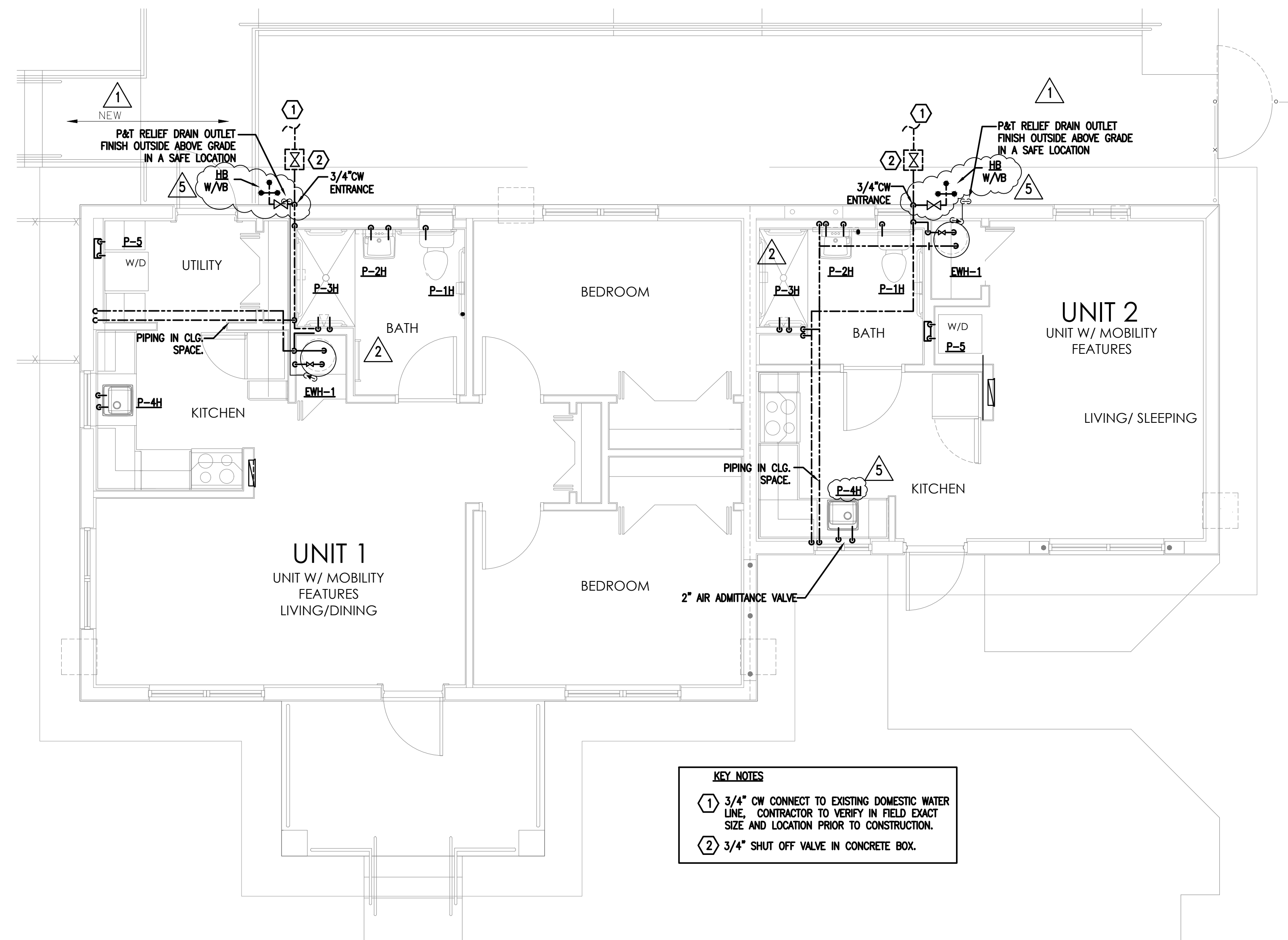
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PLUMBING DEMOLITION FLOOR PLAN 1/8" = 1'-0"



SANITARY PLUMBING FLOOR PLAN 1/4" = 1'-0"



WATER PLUMBING FLOOR PLAN 1/4" = 1'-0"

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DRAWING TITLE:

PLUMBING
FLOOR PLAN

SEAL:

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: SEPTEMBER 15, 2014

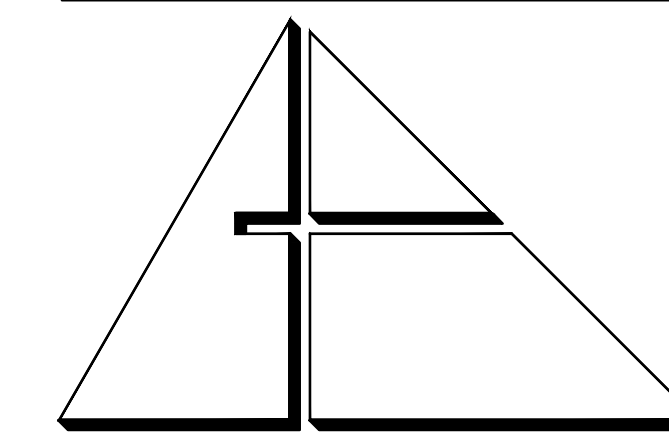
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| 10-20-13 | BLDG. DEPT. | COMMENTS |
| 7-8-14 | BDC | |
| 01-16-17 | PLAN UPDATE | |

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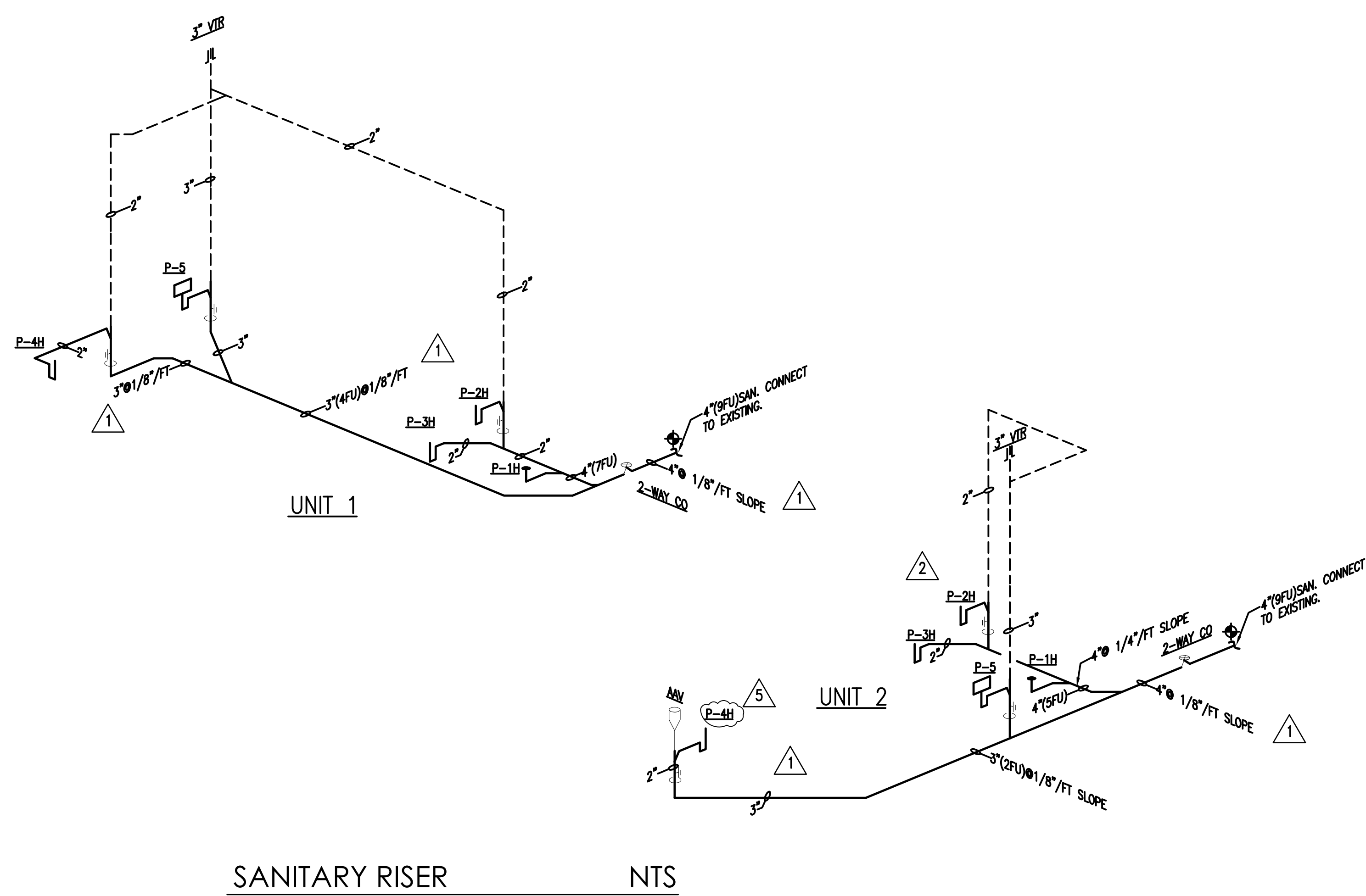
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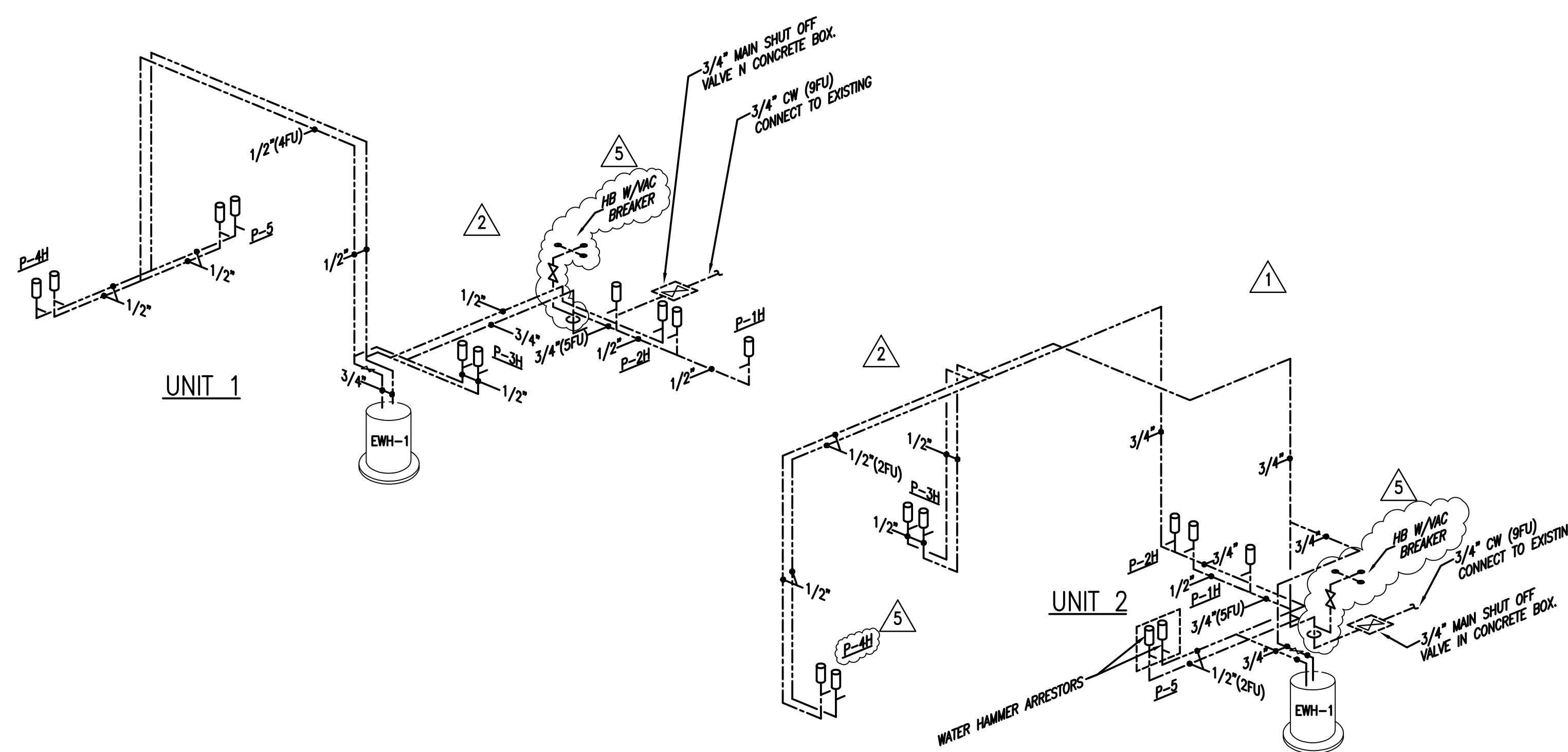
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SANITARY RISER NTS



WATER RISER NTS

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DATE:

SEPTEMBER 15, 2014

REVISED:

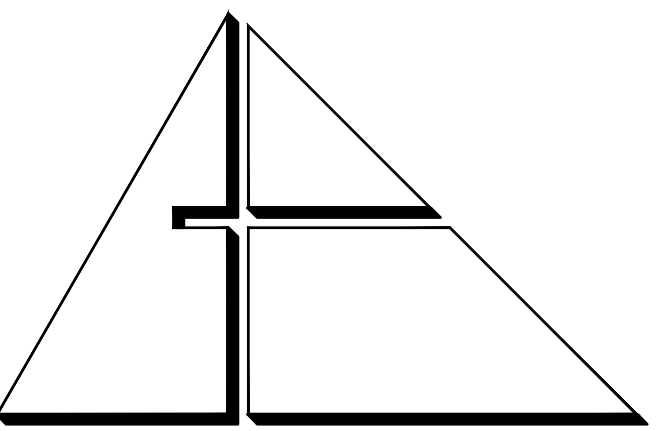
| | | |
|----------|-------------|----------|
| 10-20-13 | BLDG. DEPT. | COMMENTS |
| 7-8-14 | BDC | |
| 01-16-17 | PLAN UPDATE | |

CAD DRAWING NAME:

SHEET NO.

BID SET

P-3

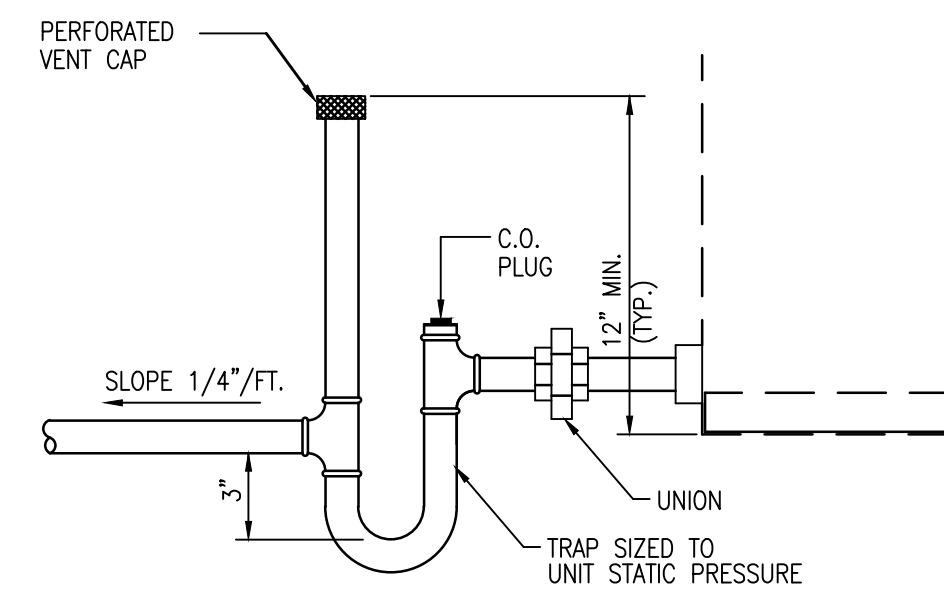


**ALLEGUEZ
ARCHITECTURE, INC.**
ARCHITECTURE
PLANNING INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

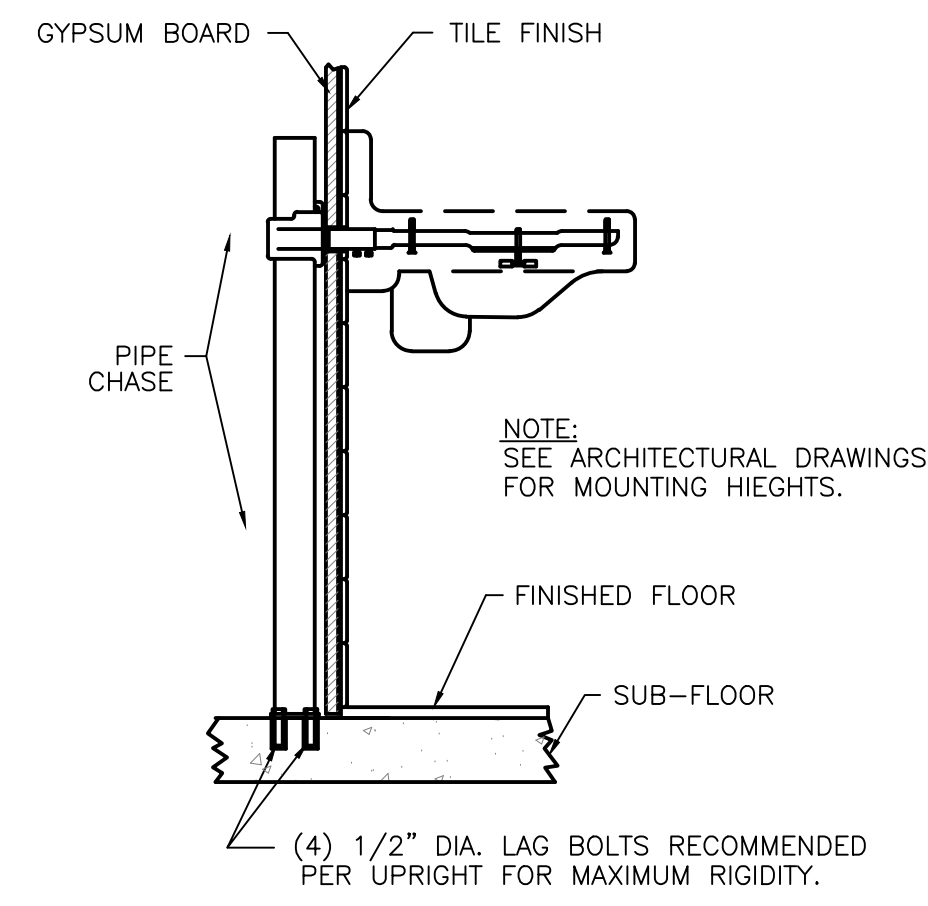
901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
tel: 305.461.4001 fax: 305.461.6002
www.alleguezarchitecture.com
AA C 0 0 2 7 4 6

CONSULTANTS:
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
CARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
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Certificate of Authorization #3144
www.gortek-engineering.com
Gortek Project No. 2867

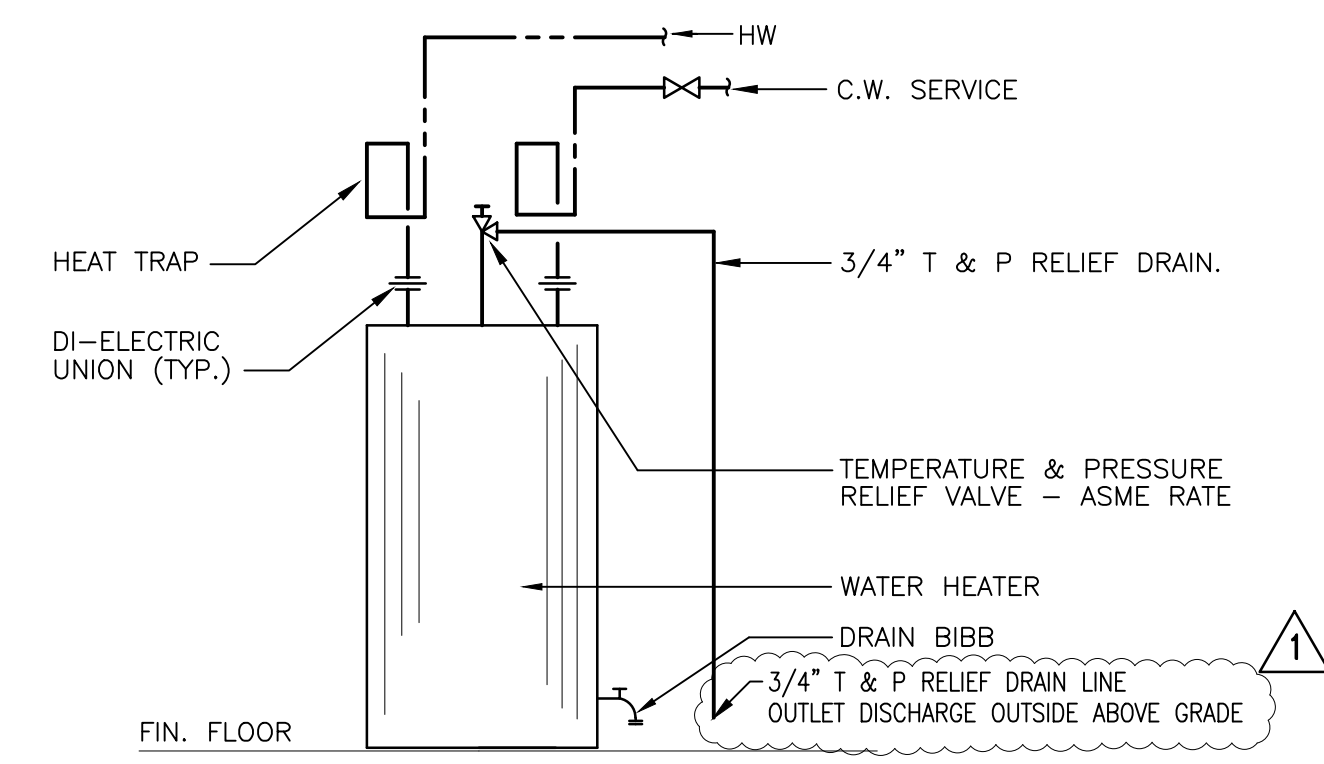
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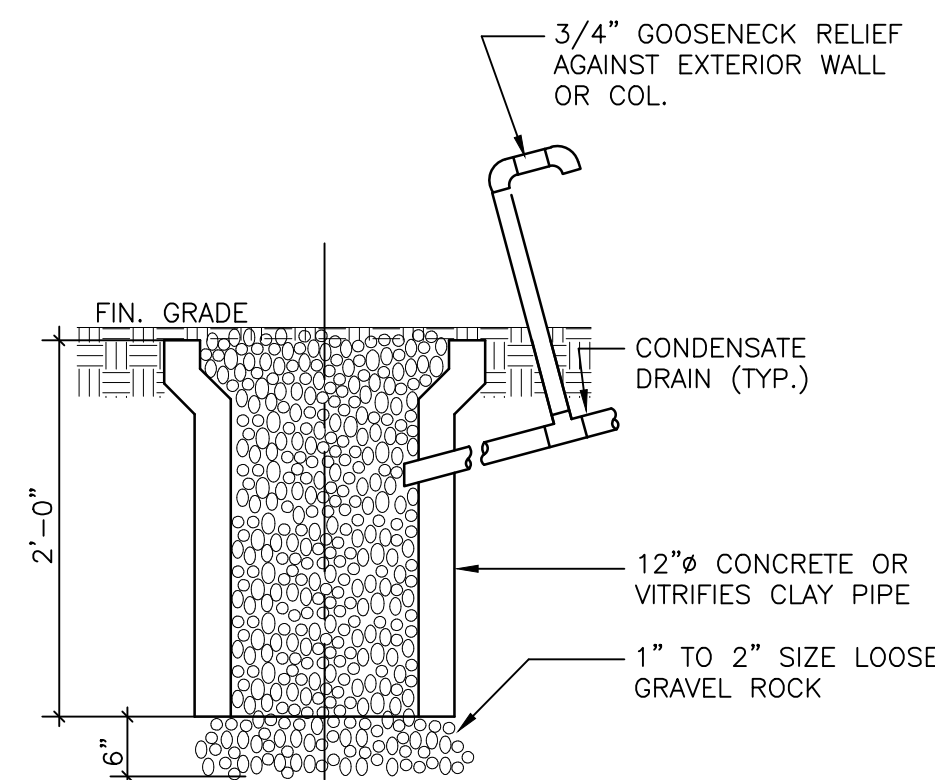
1 CONDENSATE TRAP DETAIL
P4 SCALE: N.T.S.



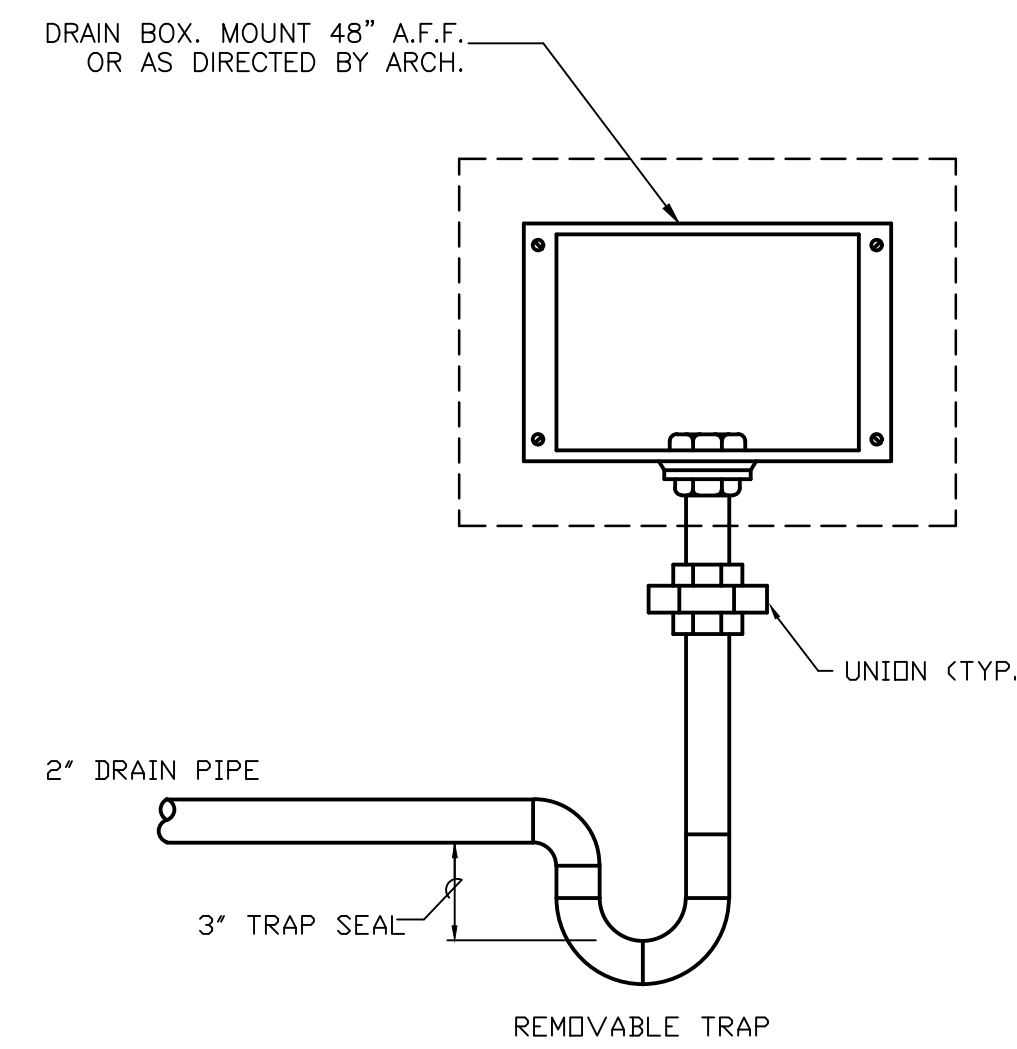
2 TYPICAL LAVATORY MOUNTING DETAIL
P4 SCALE: N.T.S.



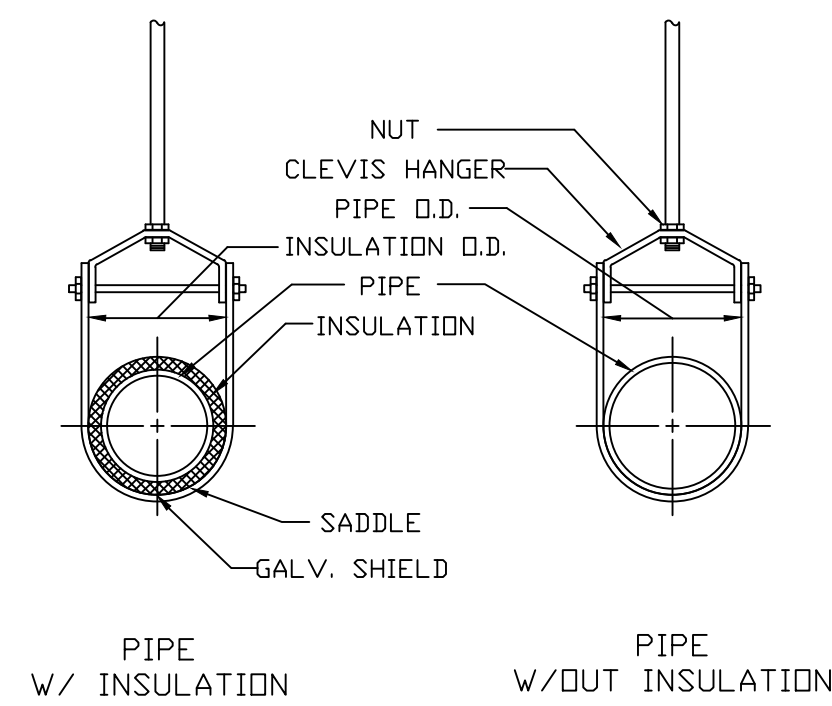
3 ELECTRIC WATER HEATER DETAIL
P4 SCALE: N.T.S.



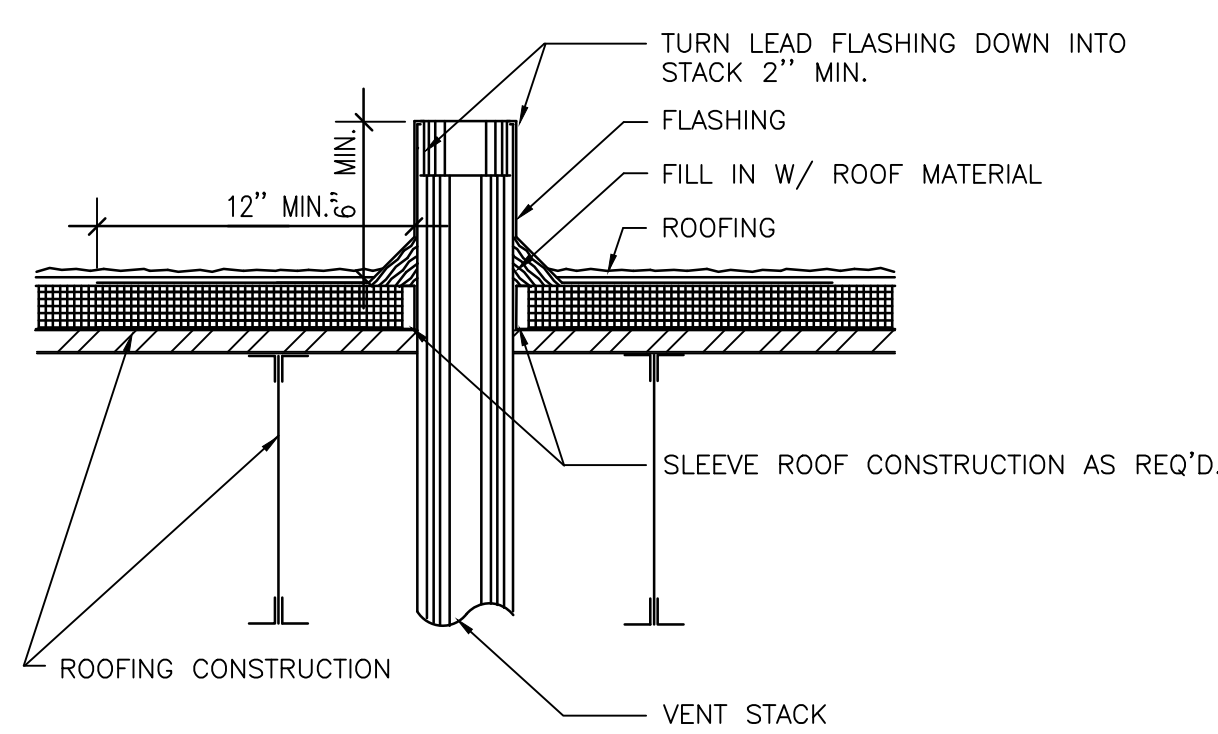
4 DRYWELL DETAIL
P4 SCALE: N.T.S.



5 WASHING MACHINE DRAIN BOX DETAIL
P4 SCALE: N.T.S.

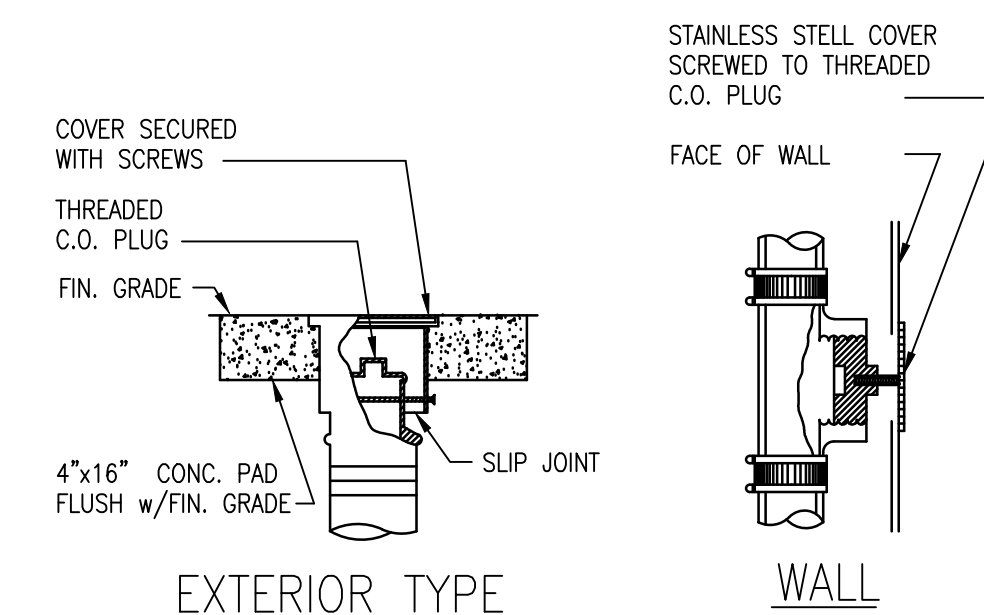


6 CLEVIS PIPE HANGER DETAIL
P4 SCALE: N.T.S.



NOTE:
ANY VENT PIPE WITHIN 10' OF ANY DOOR, WINDOW, OR EXHAUST OPENING OR OUTSIDE AIR INTAKE SHALL EXTEND NOT LESS THAN 3' ABOVE SAME.

7 VENT-THRU ROOF DETAIL
P4 SCALE: N.T.S.



8 TYPICAL CLEANOUT DETAIL
P4 SCALE: N.T.S.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

PLUMBING DETAILS

SEAL:

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788
To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: SEPTEMBER 15, 2014

REVISED:
1 10-20-13 BLDG. DEPT. COMMENTS

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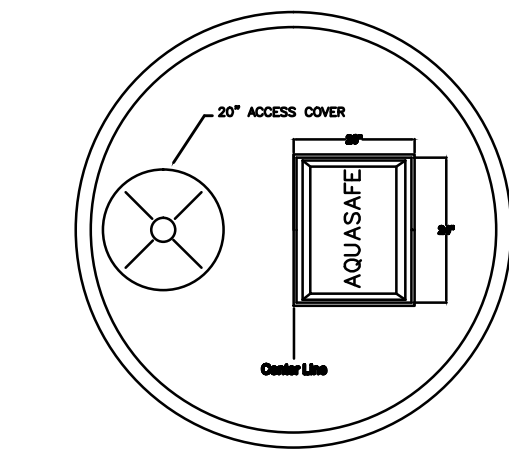
SHEET NO.

BID SET

| DESIGN CRITERIA FOR WASTE WATER DISPOSAL | | | |
|--|---|--|--|
| BUILDING TYPE: RESIDENCE | TABLE I F.A.C. ESTIMATED SEWAGE FLOWS | | |
| UNIT 1 (2 BDR, 799 SQF) = 200 GPD | TABLE I F.A.C. ESTIMATED SEWAGE FLOWS | | |
| UNIT 2 (1 BDR, 370 SQF) = 100 GPD | TABLE I F.A.C. ESTIMATED SEWAGE FLOWS | | |
| TOTAL ESTIMATED SEWAGE FLOW: 300 GPD | FLORIDA ADMINISTRATIVE CODE CHAPTERS 64E-6.008 -6.008 /64E-E.012 F.A.C. / 25% REDUCTION TO DRAIN FIELD AREA | | |
| DOMESTIC AEROBIC TREATMENT SYSTEM CAPACITY: BASED ON 400 GPD/UNIT. 2 UNITS X 400 GPD = 800 GPD. (1) 1000 GPD AQUA SAFE AS1000 | REQUIRED 375 SF TRENCH DRAIN REDUCED AREA 282 SF | | |
| TRENCH DRAIN FIELD: 0.8 GAL/SF/DAY | TABLE III F.A.C. | | |

NOTE: SUB-SURFACE CONDITIONS WAS BASED ON THE "REPORT OF SURFACE SOIL EXPLORATION GEOTECHNICAL EVALUATION AND RECOMMENDATIONS" TO CITY OF MIAMI LIFE QUEST 149502 NE11 AVENUE MIAMI, FLORIDA, DATED NOVEMBER 13 2013 BY NELCO TESTING AND ENGINEERING SERVICES, INC.

Aqua Safe AS 500 - 1500
With EZ Top



ECOLOGICAL TANKS, INC
AQUA SAFE PRODUCT SPECIFICATIONS
INDIVIDUAL HOME WASTEWATER TREATMENT PLANT
MODELS AS500, AS600, AS750, AS1000, & AS1500

| | AS500 | AS600 | AS750 | AS1000 | AS1500 |
|---------------------------|-------|-------|-------|--------|--------|
| Treatment Capacity (GPD) | 500 | 600 | 750 | 1000 | 1500 |
| Volumetric Capacity (GAL) | 1000 | 1100 | 1375 | 2008 | 2815 |
| Aeration Capacity (GAL) | 848 | 1000 | 1268 | 1706 | 2349 |
| Clarifier Capacity (GAL) | 132 | 190 | 228 | 302 | 369 |
| BOD5 Loading (LB/DAY) | 1.23 | 1.50 | 1.85 | 2.50 | 3.75 |
| WEIGHTS (POUNDS) | 540 | 660 | 800 | 1000 | 1350 |

PARTS LIST

Aeration Tank, Clarifier, Air Distribution System, Access Cover 20" Polyethylene, Discharge Piping Assembly, Compressor Housing

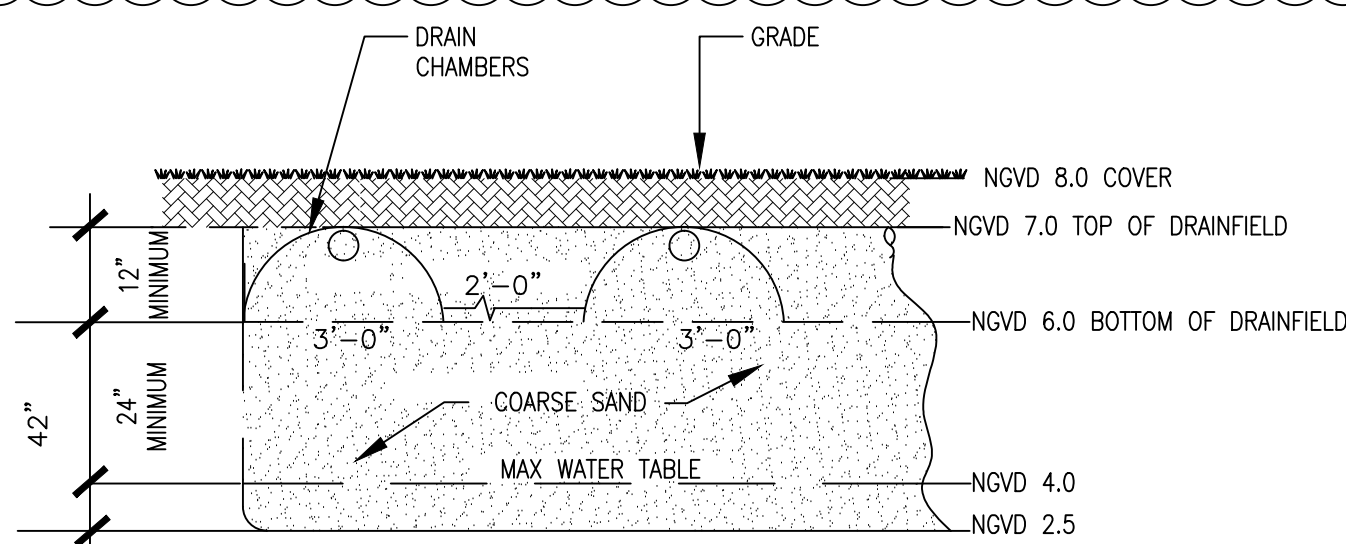
DIMENSIONS

| MODEL | A (L.D.) | B (HEIGHT) | C(RAD) |
|--------|----------|------------|--------|
| AS500 | 5'6" | 6'4" | 33.5" |
| AS600 | 6'0" | 6'4" | 37" |
| AS750 | 6'9" | 6'4" | 41" |
| AS1000 | 6'9" | 8'2" | 41" |
| AS1500 | 8'2" | 8'2" | 50" |

AEROBIC SYSTEMS (770) 646-7990

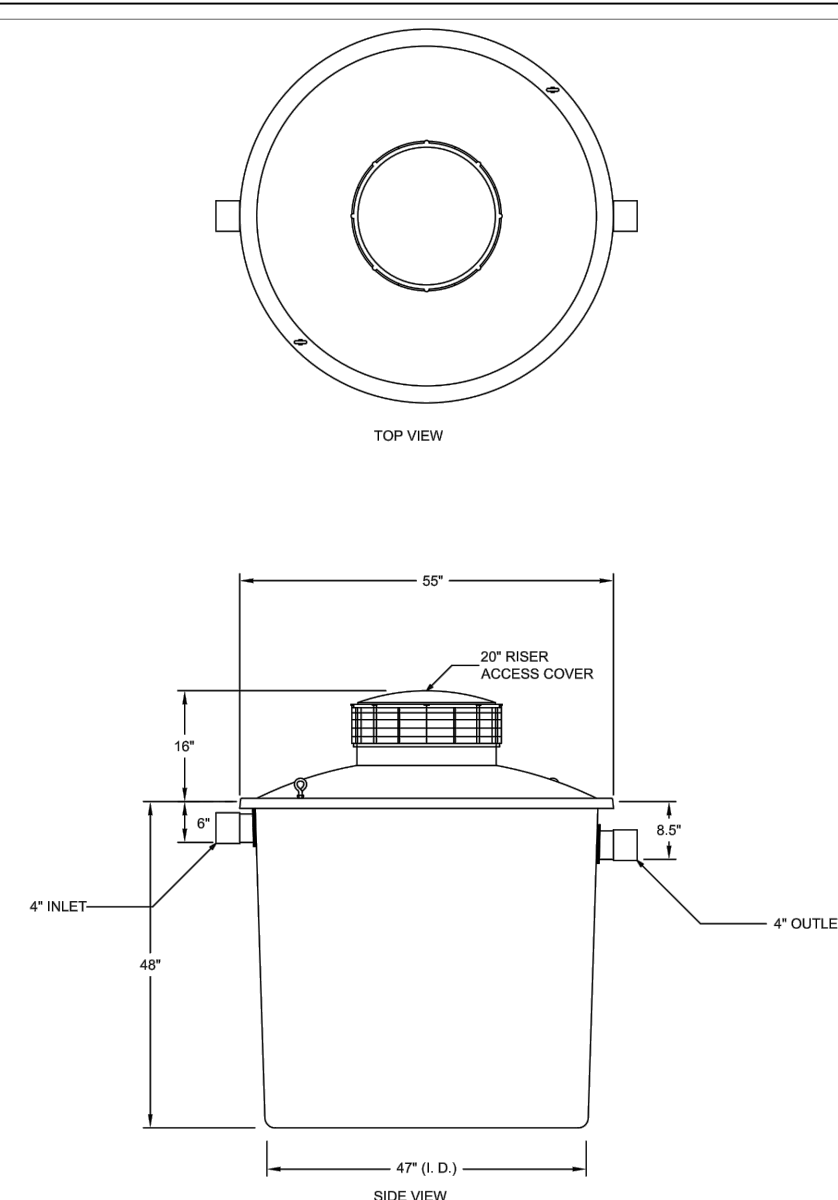
1 AEROBIC TREATMENT UNIT

N.T.S.



2 DRAINFIELD SECTION DETAIL

N.T.S.



DESCRIPTION:
80 GAL PRE-SEPTIC TANK WITH 20" RISER

3 PRE/SEPTIC TANK

N.T.S.

PLUMBING LEGEND

| | | |
|------|-------|--|
| — | SAN | SANITARY DRAIN |
| — SD | SD | STORM DRAIN |
| — CD | CD | CONDENSATE DRAIN LINE |
| — | CW | COLD WATER LINE |
| — | RV | FULL PORT-BONZE/BRASS TEFLON SEATED BALL VALVE |
| — | VV | VALVE IN RISER |
| — | HB | HOSE BIBB W/ VACUUM BREAKER |
| — | CO | TWO WAY CO |
| — | FCO | FLOOR CLEAN OUT |
| — | CSG | CLEAN OUT TO GRADE |
| — | UG | UNDER GROUND |
| — | CONTE | CONNECT TO EXISTING |

PLUMBING GENERAL NOTES

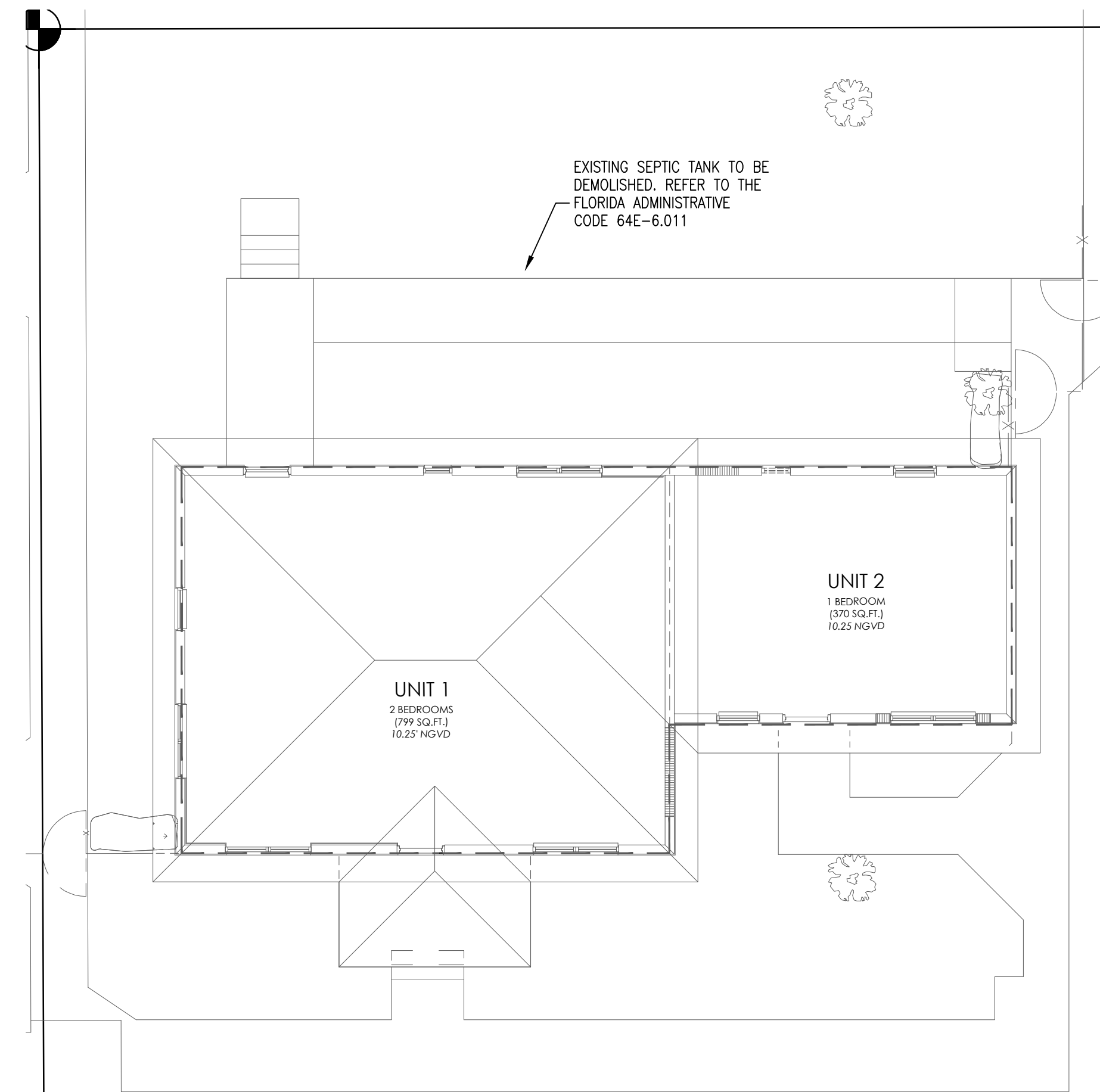
- UNLESS OTHERWISE SPECIFIED ON THIS DRAWING CONTRACTOR SHALL REFER TO ORIGINAL LANDLORD SPECIFICATIONS FOR ALL APPLICABLE REQUIREMENTS, NOTES, DETAILS, CONSTRUCTION'S STANDARDS, ETC., COORDINATE WITH LANDLORD REQUIREMENTS PRIOR TO ORDERING AND/OR INSTALLATION OF ANY EQUIPMENT AND ACCESSORIES SHOWN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE SEPTIC TANK AND DRAIN FIELD SYSTEM IN ACCORDANCE WITH THIS DRAWING, THE APPLICABLE EDITION OF CHAPTER 64E-6, FLORIDA ADMINISTRATIVE CODE, STANDARDS FOR ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
- THE CONTRACTOR SHALL PAY ALL COST OF PERMIT, INSPECTIONS AND OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK. UPON FINAL INSPECTION A CERTIFICATE FROM THE LOCAL STATE INSPECTION AUTHORITY SHALL BE FURNISHED TO THE OWNER.
- EXISTING PIPES SERVING AREAS NOT COVERED BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED EXCEPT AS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER AND LANDLORD.
- CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS, PIPING AND EQUIPMENT.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND MUST BE FURNISHED SO AS TO PREVENT ANY DELAY IN THE PROGRESS OF THE WORK.
- CONTRACTOR SHALL SUBMIT EQUIPMENT & PLUMBING FIXTURES SHOP DRAWINGS, SHOP DRAWINGS SHALL BE COORDINATED BY CONTRACTOR WITH ALL TRADES INCLUDING STRUCTURAL, LIGHTING, ARCHITECTURAL LATEST LAYOUTS, ETC. CONTRACTOR SHALL NOT PROCEED TO ORDER AND/OR INSTALL EQUIPMENT AND ACCESSORIES UNLESS SHOP DRAWING REVIEW PROCESS HAS BEEN COMPLETED AND REVIEWED BY THE ENGINEER OF RECORD (EOR) AND APPROVED BY THE OWNER REPRESENTATIVES. THE DRAWINGS ARE NOT TO BE SCALED, UNLESS SPECIFIC DIMENSIONS ARE SHOWN. THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS, AND SITE CONDITIONS SHALL GOVERN EXACT LOCATION OF PLUMBING EQUIPMENT AND APPURTENANCES. MANUFACTURERS USED AS THE BASIS OF DESIGN ARE LISTED ON THE DRAWING'S SCHEDULES, ANY OTHERS MUST MEET OR EXCEED ALL SPECIFIED REQUIREMENTS. ANY SUBSTITUTIONS WHERE ALLOWED BY "OR EQUAL" ON THESE DOCUMENTS) MUST BE ACCOMPANY BY A DETAIL COST AND EQUALITY COMPARISON OF ALL ITEMS INCLUDING ANY COST DIFFERENCES AND MUST BE SUBMITTED FOR EOR REVIEW TEN (10) WORKING DAYS PRIOR TO BIDS. IF "OR EQUAL" IS NOT LISTED AFTER THE MANUFACTURER'S NAME ON THESE DOCUMENTS, THE LISTED MANUFACTURER SHALL BE SUBMITTED, NO EXCEPTIONS ARE ALLOWED. NAMING ACCEPTABLE MANUFACTURERS DOES NOT RELIEVES THE CONTRACTOR FROM COMPLIANCE WITH ALL DESIGN REQUIREMENTS SHOWN ON THESE DRAWINGS OR LISTED HEREIN. EOR IS SOLELY RESPONSIBLE TO MAKE FINAL EQUALITY RECOMMENDATION TO THE OWNER.
- PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- COORDINATE SCHEDULING OF ALL REQUIRED INSPECTIONS WITH APPROPRIATE REGULATORY BODIES.
- DRAINAGE SYSTEM DESIGN TO THE SPECIFIC TANK INLET IS BASED ON 1/8" PER FOOT MINIMUM FALL FOR PIPES 3" OR LARGER AND 1/4" PER FOOT MINIMUM FALL FOR PIPES 2" OR SMALLER, ANY DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER.

PLUMBING SPECIFICATION

- GENERAL:
MATERIAL SHALL BE NEW, UNUSED, BEST OF THEIR RESPECTIVE KINDS AND FREE FROM DEFECTS IN WORKMANSHIP IN CONFORMANCE WITH THE LATEST PUBLICATIONS IN FORCE AT TIME OF BIDDING.
- PIPE AND FITTINGS: (TO SEPTIC TANK INLET)
A. SANITARY SOIL/DRAINAGE BELOW GROUND: SCHEDULE 40 SOLID PLASTIC PVC PIPE ASTM D1785.
- DISPOSAL SYSTEM PIPING AS FOLLOWS:
DRAINFIELD: PE PLASTIC PERFORATED FIELD TUBING 4" DIAMETER, SANITARY PIPING & CONNECTIONS: SEE PLUMB. SPECS
- JOINTS AND METHODS OF CONNECTION:
A. SCHEDULE 40 PVC MOLDED PREFORMED FITTINGS, PVC-DW, SOCKET SOLVENT CEMENT, ASTM D-2487

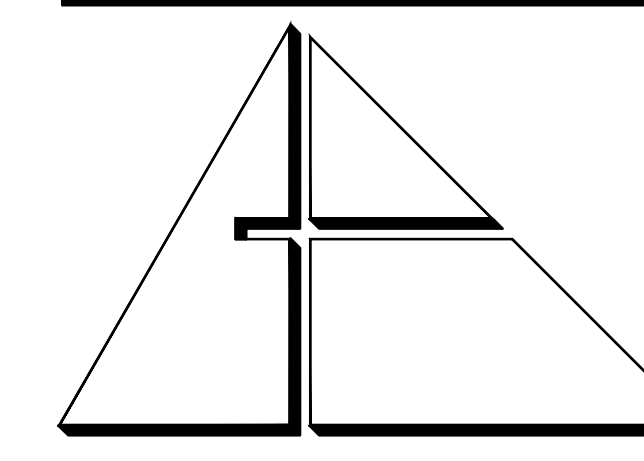
FLORIDA ADMINISTRATIVE CODE 64E-6.011 ABANDONMENT OF SYSTEMS.

- WHENEVER THE USE OF AN ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM IS DISCONTINUED FOLLOWING CONNECTION TO A SANITARY SEWER, FOLLOWING CONDEMNATION OR DEMOLITION OR REMOVAL OR DESTRUCTION OF A BUILDING OR PROPERTY, OR DISCONTINUING THE USE OF A SEPTIC TANK AND REPLACEMENT WITH ANOTHER SEPTIC TANK, THE SYSTEM SHALL BE ABANDONED WITHIN 90 DAYS AND ANY FURTHER USE OF THE SYSTEM FOR ANY PURPOSE SHALL BE PROHIBITED. HOWEVER, IF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OR ITS DESIGNEE APPROVES THE USE OF THE RETENTION TANK WHERE THE TANK IS TO BECOME AN INTEGRAL PART OF A SANITARY SEWER SYSTEM OR STORMWATER MANAGEMENT SYSTEM, THE SEPTIC TANK NEED NOT BE ABANDONED.
- THE FOLLOWING ACTIONS SHALL BE TAKEN, IN THE ORDER LISTED, TO ABANDON AN ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM:
(A) PROPERTY OWNER OR AGENT SHALL APPLY FOR A PERMIT FROM THE DEPARTMENT TO ABANDON THE EXISTING ON SITE SEWAGE SYSTEM AND SUBMIT THE REQUIRED FEE, UPON RECEIVING A PERMIT;
(B) THE TANK SHALL BE PUMPED OUT;
(C) THE BOTTOM OF THE TANK SHALL BE OPENED OR RUPTURED, OR THE ENTIRE TANK COLLAPSED SO AS TO PREVENT THE TANK FROM RETAINING WATER, AND
(D) THE TANK SHALL BE FILLED WITH CLEAN SAND OR OTHER SUITABLE MATERIAL, AND COMPLETELY COVERED WITH SOIL.
(E) AN INSPECTION OF THE SYSTEM ABANDONMENT SHALL BE CONDUCTED BY THE DEPARTMENT OR BY THE LOCAL UTILITY OR PLUMBING AUTHORITY PERFORMING THE SYSTEM ABANDONMENT.
- THE PERMITTING PROVISIONS OF PARAGRAPH 64E-6.011(2)(A), F.A.C., ARE NOT REQUIRED IF A LOCAL UTILITY OR LOCAL PLUMBING AUTHORITY PERFORMS A SYSTEM ABANDONMENT PROGRAM WHICH REQUIRES THE COMPLETION OF THOSE STEPS LISTED IN PARAGRAPHS 64E-6.011(2)(B), (C), (D), AND (E), F.A.C. IF THE SYSTEM ABANDONMENT IS PERFORMED BY A LOCAL UTILITY OR LOCAL PLUMBING AUTHORITY, THE LOCAL UTILITY OR LOCAL PLUMBING AUTHORITY PERFORMING THE ABANDONMENT PROGRAM SHALL MAINTAIN A LOG OF ALL INSPECTIONS PERFORMED AND SHALL FORWARD THE LOG TO THE COUNTY HEALTH DEPARTMENT ON A MONTHLY BASIS.
- A SEPTIC TANK SERVING A SINGLE FAMILY RESIDENCE MAY, AT THE OWNER'S DISCRETION, BE CONVERTED INTO A CISTERN PURSUANT TO THE FOLLOWING PROCEDURES:
(A) THE APPLICANT SHALL OBTAIN A SYSTEM ABANDONMENT PERMIT FROM THE COUNTY HEALTH DEPARTMENT.
(B) THE PERMIT APPLICATION SHALL SPECIFY THE INTENDED USE OF THE ABANDONED SEPTIC TANK.
(C) THE ACTIVITIES RELATED TO ABANDONING THE ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SHALL NOT CREATE A SANITARY NUISANCE.
(D) THE SEPTIC TANK SHALL BE DISCONNECTED FROM THE DRAINFIELD AND FROM THE BUILDING SEWER PIPE.
(E) ALL WORK TO DISCONNECT, CLEAN AND SANITIZE THE SEPTIC TANK SHALL BE CONDUCTED BY A REGISTERED SEPTIC TANK CONTRACTOR OR A STATE-LICENSED PLUMBER OR BY THE OWNER OF THE OWNER-OCCUPIED SINGLE FAMILY RESIDENCE BEING SERVED BY THE SEPTIC TANK.
(F) ALL SEPTAGE, WASH WATER, AND OTHER LIQUIDS REMOVED FROM THE TANK SHALL BE REMOVED AND HANDLED AS SEPTAGE (RULE 64E-6.010, F.A.C.) BY A DOH-LICENSED SEPTAGE DISPOSAL SERVICE AND DISPOSED OF AT A DEP-REGULATED WASTEWATER TREATMENT FACILITY.
(G) THE HEALTH DEPARTMENT SHALL INSPECT THE TANK ONCE IT IS DISCONNECTED, EMPTIED, CLEANED, DISINFECTED AND FILLED WITH WATER, THE INSPECTION SHALL DETERMINE WHETHER ALL OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
1. THE TANK HAS BEEN DISCONNECTED FROM THE DRAINFIELD AND THE BUILDING SEWER.
2. THE TANK IS FULL OF WATER WITHIN 12 INCHES OF THE TOP OF THE TANK.
3. THE CLARITY OF THE WATER IS SUCH THAT A SECOCHI DISK IS VISIBLE AT THE BOTTOM OF THE TANK.
4. THE PH OF THE WATER IN THE TANK IS BETWEEN 6.0 AND 8.0.
5. THE FREE CHLORINE RESIDUAL OF THE WATER IN THE TANK IS \leq 1.0 PPM.
6. THE TOTAL COLIFORM COUNT IS \leq 1000 PER 100 ML.
7. THE FECAL COLIFORM COUNT IS \leq 200 PER 100 ML.
8. NO SANITARY NUISANCE CONDITION EXISTS ON THE PROPERTY RELATED TO THE ABANDONMENT ACTIVITIES.
(H) ONE INSPECTION IS INCLUDED IN THE ABANDONMENT PERMIT FEE. THE APPLICANT SHALL PAY A REINSPECTION FEE FOR ANY ADDITIONAL INSPECTION VISITS NECESSARY UNTIL ALL OF THE CRITERIA IN SUBPARAGRAPHS 64E-6.011(A)(1) THROUGH 8, F.A.C., ARE MET AND FINAL APPROVAL OF THE ABANDONMENT IS GRANTED BY THE COUNTY HEALTH DEPARTMENT.
(I) THE APPLICANT SHALL BE RESPONSIBLE FOR ALL REQUIRED LABORATORY FEES. ALL SAMPLING SHALL BE CONDUCTED BY COUNTY HEALTH DEPARTMENT STAFF DURING THE FINAL INSPECTION.
(J) THE SEPTIC TANK SHALL BE CONVERTED AND INSPECTED WITHIN 90 DAYS AFTER CONNECTION OF THE BUILDING PLUMBING TO THE SANITARY SEWER.
(K) THE TANK SHALL NOT BE CONNECTED TO ANY IRRIGATION COMPONENTS NOR SHALL THE WATER USED FOR IRRIGATION PURPOSES UNTIL FINAL APPROVAL OF THE ABANDONMENT HAS BEEN GRANTED BY THE COUNTY HEALTH DEPARTMENT.
(L) UPON FINAL APPROVAL OF THE ABANDONMENT, USE OF THE TANK OR THE DRAINFIELD FOR SEWAGE STORAGE, TREATMENT OR DISPOSAL IS PROHIBITED AND CONSTITUTES A NUISANCE INJURIOUS TO HEALTH AS DEFINED BY SECTION 386.041, F.S.
(M) UPON FINAL APPROVAL OF THE ABANDONMENT, THE WATER COLLECTED IN THE TANK SHALL BE UTILIZED FOR NON-POTABLE, IRRIGATION PURPOSES ONLY.
RULEMAKING AUTHORITY 381.0065, 489.553, 489.557 FS. LAW IMPLEMENTED 381.0065, 381.0065S, 381.0066, PART I 386 FS. HISTORY-NEW 12-22-82, AMENDED 2-3-85, FORMERLY 100-6-53, AMENDED 3-17-92, 1-3-95, FORMERLY 100-6-053, AMENDED 6-18-03, 6-25-09.



PLUMBING DEMOLITION PLAN

1/8" = 1'-0"



ALLEGUEZ ARCHITECTURE, INC.
ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

CARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
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Cartek Project No. 2867.03

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PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

MIAMI, FL

DRAWING TITLE:

SEPTIC TANK
DEMO PLAN,
NOTES AND
DETAILS

SCALE:

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE:

February 20, 2015

REVISED:

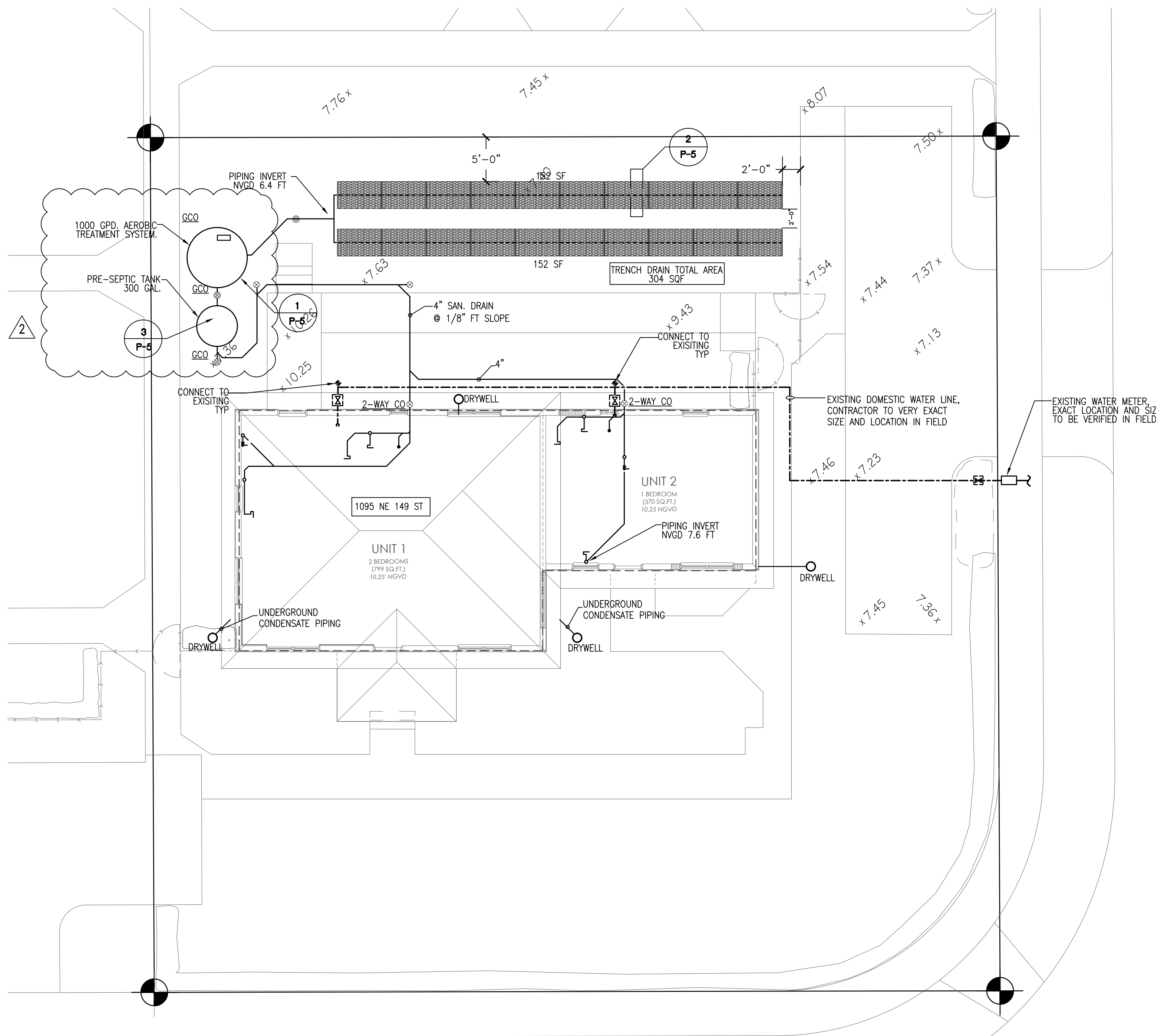
- 1 06-10-15 DDH COMMENTS
- 2 07-24-15 DDH COMMENTS

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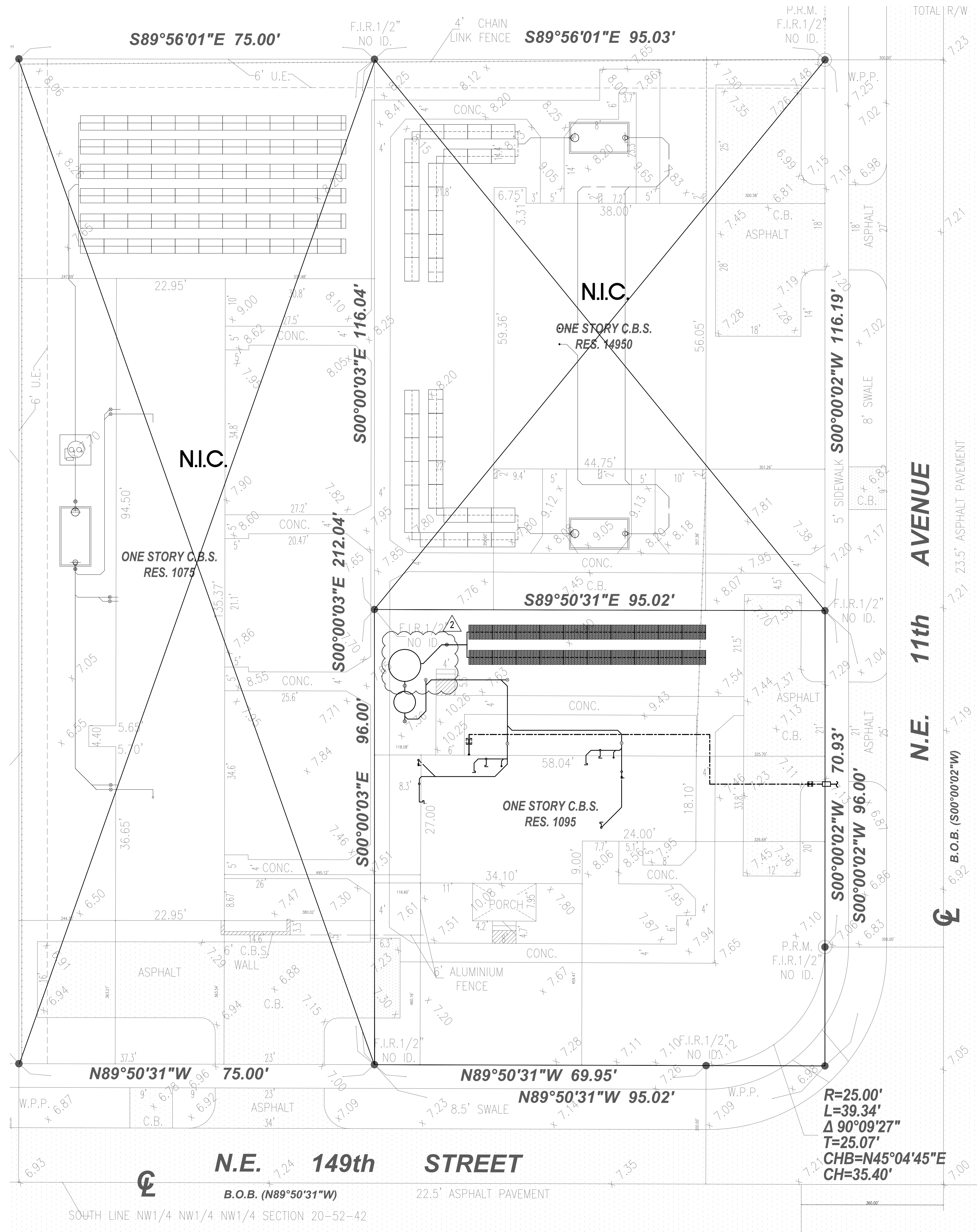
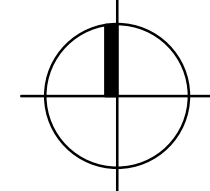
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P-5

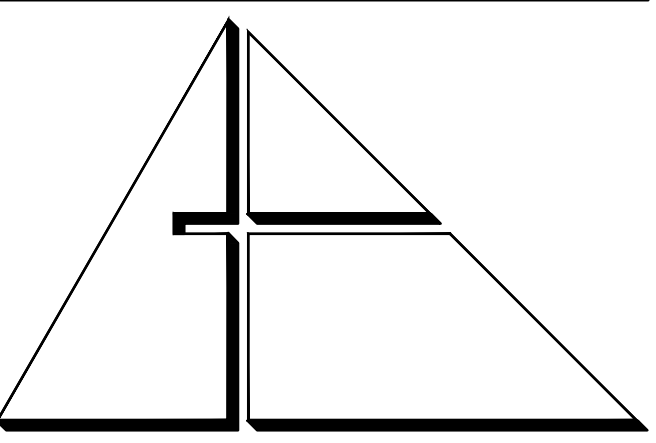
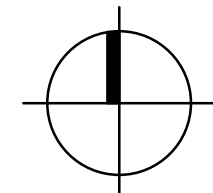
PERMIT SET - 02/20/2015



PLUMBING PLAN 1/8" = 1'-0"



PLUMBING SITE PLAN 3/32" = 1'-0"



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
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CONSULTANTS:

MECHANICAL ELECTRICAL PLUMBING ENGINEER:

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TEL: (305) 356-8997 FAX: (305) 264-9496

Certificate of Authorization #3144

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Cartek Project No. 2867.03

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PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

MIAMI, FL

DRAWING TITLE:

SEPTIC TANK
SITE AND NEW
WORK PLAN

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)

LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE:

February 20, 2015

REVISED:

1/06-10-15 DCH COMMENTS

2/07-24-15 DCH COMMENTS

CAD DRAWING NAME:

SHEET NO.:

PERMIT SET - 02/20/2015

P-6

HVAC GENERAL NOTES

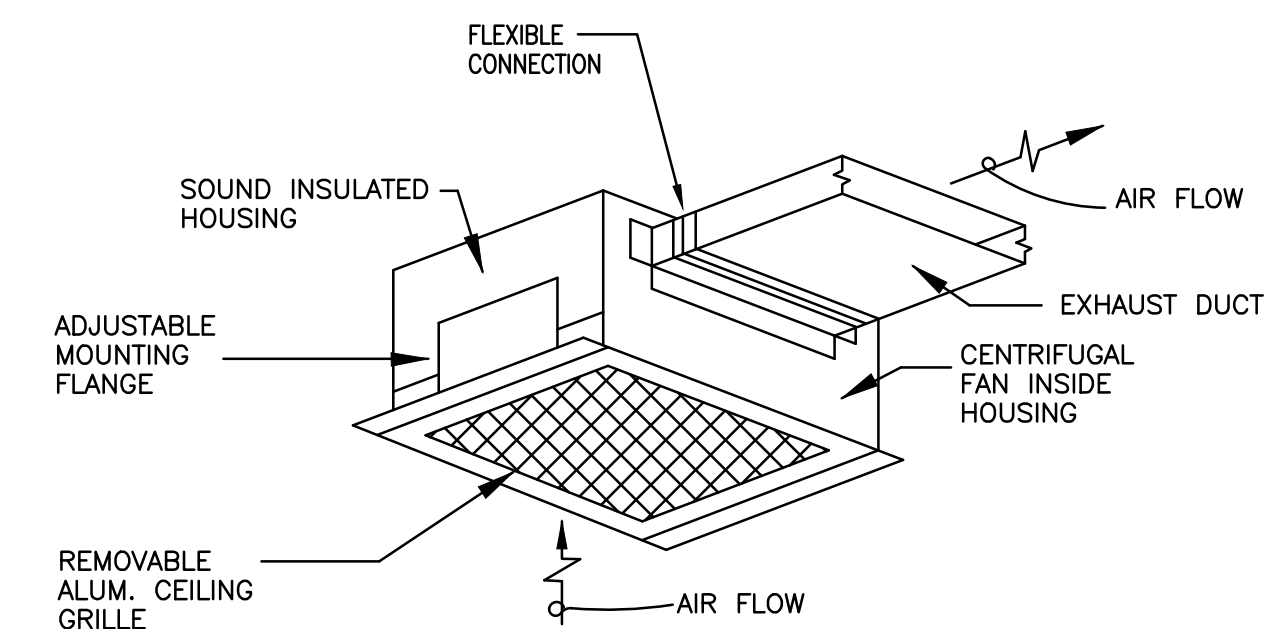
- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT PERMITS, FEES, INSPECTIONS, TEST, INSURANCE, ETC., REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING HEATING AND VENTILATION SYSTEMS SHOWN ON DRAWINGS OR LISTED BELOW.
- THE DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY BEND, OFF-SET, ELBOW OR OTHER FITTINGS WHICH MAY BE REQUIRED FOR THE INSTALLATION IN THE SPACE ALLOCATED, OR FOR COORDINATION WITH OTHER TRADES.
- DRAWINGS ARE NOT TO BE SCALED. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS, AND SITE CONDITIONS SHALL GOVERN EXACT LOCATION OF MECHANICAL EQUIPMENT AND APPURTENANCES.
- INTENT:
IT IS THE INTENT OF THE PLANS AND GENERAL NOTES TO PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL NECESSARY ITEMS REQUIRED, EVEN THOUGH ITEMS ARE NOT INDICATED ON THE DRAWINGS OR IN THE NOTES. WORK CONSIDER NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER NOT SHOWN ON THE PLANS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IN WRITING PRIOR TO BIDS OTHERWISE WORK SHALL NOT BE ADDITIONALLY CHARGED AFTER BID IS AWARDED.
- DEFINITIONS:
A. PROVIDE - MEANS TO FURNISH AND INSTALL.
B. UNDER THIS SECTION - MEANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE DONE BY AND PAID FOR BY THE CONTRACTOR.
C. BY THIS SECTION - MEANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE DONE BY AND PAID FOR BY THE CONTRACTOR.
- INDOOR AIR QUALITY PRECAUTIONS:
A. THE CONTRACTOR SHALL ALLOW FOR NECESSARY VENTILATION DURING CONSTRUCTION TO AVOID INDOOR AIR POLLUTION.
B. THE CONTRACTOR SHALL PREPARE WRITTEN DIRECTION BY WHICH THE BUILDING OWNER OR ITS REPRESENTATIVE WILL BE ABLE TO OPERATE THE VENTILATION SYSTEMS AT ITS OPTIMAL LEVEL.
- OUTDOOR AIR QUALITY PRECAUTIONS:
THE CONTRACTOR SHALL ALLOW FOR NECESSARY PRECAUTIONS DURING CONSTRUCTION AND THEREAFTER FOR THE INSTALLATION AND HANDLING OF REFRIGERANTS. THE CONTRACTOR SHALL PREPARE WRITTEN DIRECTIONS BY WHICH THE BUILDING OWNER OR ITS REPRESENTATIVE WILL BE ABLE TO HANDLE REFRIGERANT IN A SAFE AND APPROVED MANNER.
- SUBMIT A COMPLETE "AS-BUILT" RECORD SET IN ELECTRONIC AUTOCAD DWG FILE'S FORM TO ARCHITECT/ ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUESTION.
- A. HVAC EQUIPMENT, AIR DISTRIBUTION, FANS MATERIALS, ETC., SHALL BE AS LISTED HEREIN AND/OR SHALL BE AS SCHEDULED ON THE DRAWINGS.
B. MANUFACTURERS USE FOR THE BASIS OF DESIGN ARE LISTED ON THE DRAWING SCHEDULE. ANY OTHER MUST MEET OR EXCEED ALL SPECIFIED REQUIREMENTS. NAMING ACCEPTABLE MANUFACTURERS DOES NOT RELIEVE CONTRACTOR FROM COMPLIANCE WITH ALL DESIGN REQUIREMENTS SHOWN ON DRAWINGS OR LISTED HEREIN.
- CUT ALL OPENINGS, CHASES, TRENCHES, ETC. REQUIRED TO ACCOMMODATE THE WORK UNDER THIS DIVISION AND REPAIR ALL WALLS, ROOF, ETC. DAMAGED BY SUCH CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO FINISH AND QUALITY OF MATERIALS AND WORKMANSHIP SPECIFIED UNDER APPROPRIATE SECTIONS FOR THIS BUILDING.
- VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING ANY EQUIPMENT.
- SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK AND EQUIPMENT FOR REVIEW BY ARCHITECT/ENGINEER PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF THIS WORK WITH THAT OF ALL OTHER TRADES.
- OBTAIN FULL INFORMATION REGARDING PECULIARITIES AND LIMITATIONS OF SPACE AVAILABLE FOR INSTALLATION OF THE EQUIPMENT AND MATERIALS UNDER THIS CONTRACT, AND PROVIDE READY ACCESSIBILITY TO DAMPERS, VALVES AND OTHER APPARATUS, INCLUDING ANY PART OF SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
- DUCTWORK:
A. TOILET AND DRYER EXHAUST DUCTWORK SHALL BE CONSTRUCTED OF SOLID ZINC COATED GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.S.H.R.A.E. GUIDE AND S.M.A.C.N.A. RECOMMENDATIONS.
D. ALL DUCT SIZES SHOWN ARE CLEAR INSIDE (AIRSIDE) DIMENSIONS.
E. ALL DUCT ELBOWS SHALL BE FITTED WITH TURNING VANES (EXCEPT DRYER EXHAUST WHICH SHALL BE LONG SMOOTH ROUND ELBOW).
16. INSULATION:
A. PIPING - CONDENSATE PIPING PIPING SHALL BE INSULATED WITH 3/4" FIRE RATED FLEXIBLE FOAM INSULATION. FINISH WHERE EXPOSED WITH 2 COATS OF WHITE LATEX PAINT AS PER THE MANUFACTURER'S INSTRUCTION.
17. FLAME AND SMOKE RATING: ALL INSULATION PRODUCTS USED INSIDE THE BUILDING SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE GENERATION OF 50 IN ACCORDANCE WITH TESTS OUTLINED IN N.F.P.A. #255.
18. FILTERS:
A. PROVIDE TWO SETS OF TEMPORARY FIBERGLASS THROWAWAY FILTERS OF THE SAME THICKNESS AS FINAL FILTERS FOR USE DURING CONSTRUCTION.
B. PROVIDE TWO COMPLETE SETS OF FINAL FILTERS.
19. VIBRATION ISOLATORS:
A. CONDENSING UNITS SHALL BE MOUNTED ON 1" THICK NEOPRENE PADS, THRU-BOLTED TO HOT DIPPED GALVANIZED WELDED STEEL ANGLE.
20. CONTROLS:
A. ALL ELECTRIC WIRING AND CONDUIT SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
B. WIRELESS THERMOSTAT SHALL BE HEAT-COOL PROGRAMMABLE WITH FAN AND SELECTOR SWITCHES.
21. ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR THE PERIOD OF ONE YEAR. COMPRESSORS SHALL CARRY 5 YEAR FACTORY GUARANTEE. FURNISH 90 DAYS FREE SERVICE.
22. ALL FAN DRIVES SHALL BE ADJUSTED TO DELIVER THE SPECIFIED CFM AGAINST THE ACTUAL STATIC PRESSURE OF THE INSTALLATION.
23. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
24. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND 170 MPH HURRICANE FORCE WINDS.
26. TESTING:
A. BALANCE AIR SYSTEM TO DELIVER SPECIFIED QUANTITIES AT EACH OUTLET WITHIN 10% USING A.A.B.C. PROCEDURES AND TESTS. SUBMIT AIR BALANCE TEST RESULTS FOR REVIEW PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
B. SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK AND EQUIPMENT FOR REVIEW PRIOR TO INSTALLATION AND/OR FABRICATION.
C. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD BUILDING CODE NFPA 90B, 90D AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
E. CONTRACTOR SHALL BE RESPONSIBLE TO TEST AND BALANCE THE SYSTEM TO ACHIEVE RATES AS SHOWN ON PLANS AND SCHEDULES. TEST/BALANCE RESULTS SHALL BE SUBMITTED TO ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUESTION.
26. FANS (COOK IS THE BASIS OF DESIGN)
A. PROVIDE FANS AS SCHEDULED ON DRAWINGS
B. INSTALLATION
1. INSTALL FANS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. LOCATE EXHAUST FANS A MINIMUM OF 10'-0" (HORIZONTAL DISTANCE) AWAY FROM ANY OUTSIDE AIR INTAKE, OPERABLE WINDOW AND/OR DOOR.
3. PROVIDE CONTROL LOW VOLTAGE TRANSFORMERS, TEN MINUTE TIME-OFF DELAY RELAYS AND BACK DRAFT DAMPERS, SEAL ALL STRUCTURAL ROOF AND WALL OPENINGS AIR AND WATER TIGHT.
30. THRU THE WALL AIR CONDITIONERS (FRIEDRICH IS THE BASIS OF DESIGN)
UNITS SHALL BE PROVIDED WITH:
A. SEA COAST PROTECTION (110,000 HOURS MINIMUM)
B. WIRELESS REMOTE CONTROL, 3 SPEED FAN CONTROL AND PROGRAMMABLE TIMER,
C. OUTSIDE AIR DUCT WITH DAMPER SET @ 30 CFM.
D. INSECT BARRIER, WASHABLE ANTIMICROBIAL AIR FILTER.
E. STEEL INNER WALL AND EXTRA DENSE INSULATION AND VIBRATION ISOLATION.
F. INSTALL WALL SLEEVE SLOPED PER MFG RECOMMENDATIONS.
G. ENTRY-GARD ANTI-INTRUSION PROTECTION.
H. PROVIDE 5 YEARS WARRANTY ON COMPRESSORS BY MANUFACTURER AND ONE YEAR WARRANTY ON PARTS AND LABOR.
I. SECURE A/C UNITS ON CONCRETE WALL TO WITHSTAND 170 MPH HURRICANE FORCE WINDS

| AIR CONDITIONING LEGEND | |
|-------------------------|---|
| SYMBOL | DESCRIPTION |
| A/C | THRU THE WALL AIR CONDITION UNIT |
| BTM. | BOTTOM |
| COND. | CONDENSATE |
| CONC. | CONCRETE |
| CFM | CUBIC FEET PER MINUTE |
| E.F. | EXHAUST FAN |
| F.L.A. | FULL LOAD AMPS |
| F.P.M. | FEET PER MINUTE |
| H.P. | HORSEPOWER |
| H.R. | HOUR |
| IN. | INCH |
| K.W. | KILOWATT |
| LBS. | POUNDS |
| MAX. | MAXIMUM |
| MVD | MANUAL VOLUME DAMPER (OPPOSED BLADE) |
| NO. | NUMBER |
| O/A | OUTSIDE AIR |
| RPM. | REVOLUTIONS PER MINUTE |
| R/A | RETURN AIR |
| REF. | REFRIGERANT |
| S/A | SUPPLY AIR |
| TEMP. | TEMPERATURE |
| "A" | AIR DISTRIBUTION DESIGNATION |
| Ⓢ | PROGRAMMABLE THERMOSTAT |
| Ⓢ | EXHAUST OR RETURN AIR DUCT SECTION |
| ↔ | OPPOSED BLADE MANUAL VOLUME DAMPER |
| ↔ | 1" UNDER CUT DOOR (ALL BEDROOMS AND BATHROOMS) |

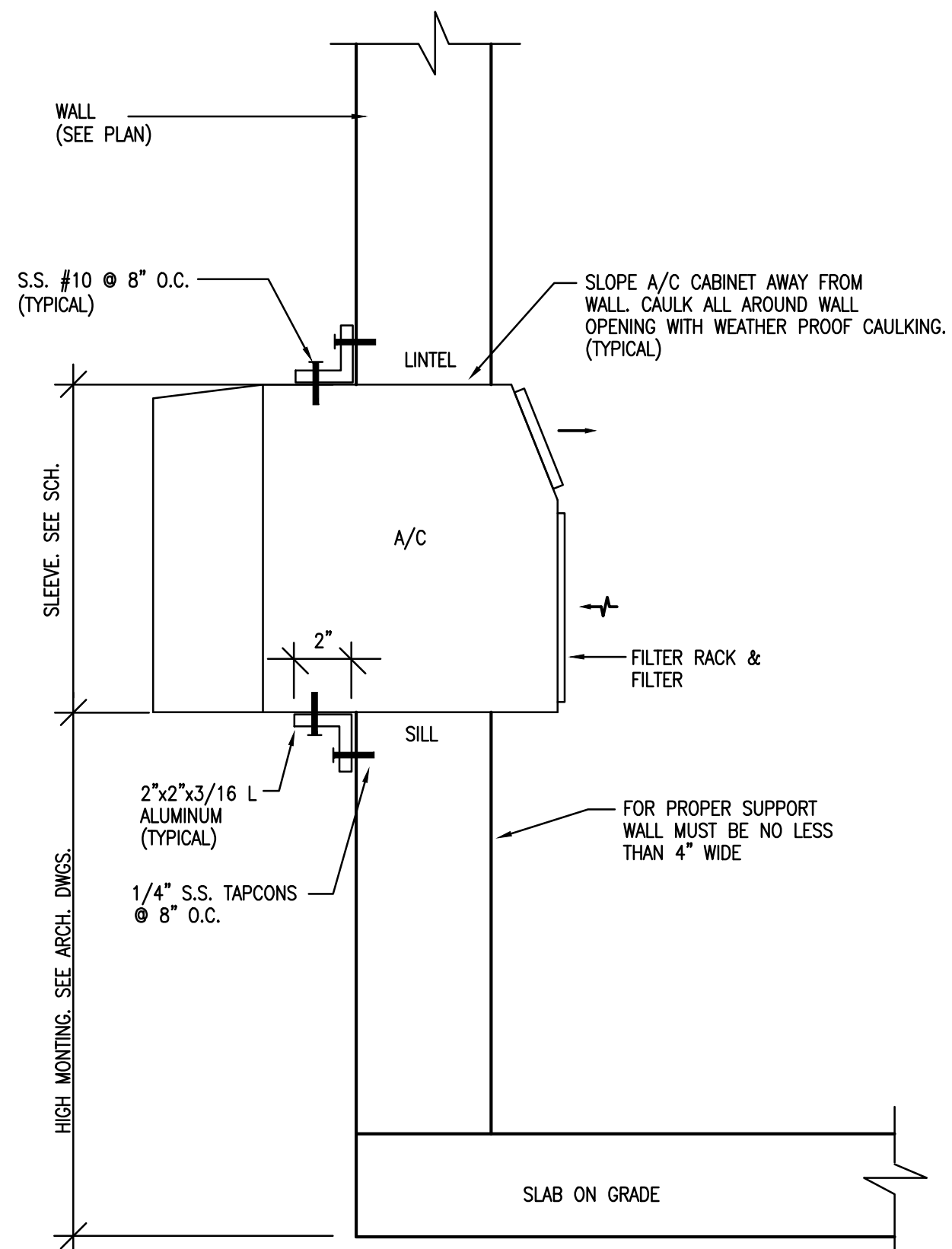
| HVAC DESIGN REQUIRES: | YES | NO |
|--|-----|----|
| DUCT SMOKE DETECTOR | | |
| FIRE DAMPER(S) | | |
| SMOKE DAMPER(S) | | |
| FIRE RATED ENCLOSURE | | |
| FIRE RATED ROOF/FLOOR CEILING ASSEMBLY | | |
| FIRE STOPPING | | |
| SMOKE CONTROL SUPPLY | | |

| BUILDING DATA (SEE ARCH DWGS) | |
|-------------------------------|-----------|
| WALL R VALUE | R-5 |
| GLASS (ARGON/LOW E) U VALUE | U-0.97 |
| GLASS (ARGON/LOW E) SHGC | SHGC-0.36 |
| ROOF R VALUE | R-30 |

NOTE:
1. ALL R AND U VALUES ARE AS PROVIDED TO THIS ENGINEER BY THE ARCHITECT.



TYPICAL CEILING TYPE EXHAUST FAN DETAIL
N.T.S.



WINDOW TYPE UNIT MOUNTING DETAIL
N.T.S.

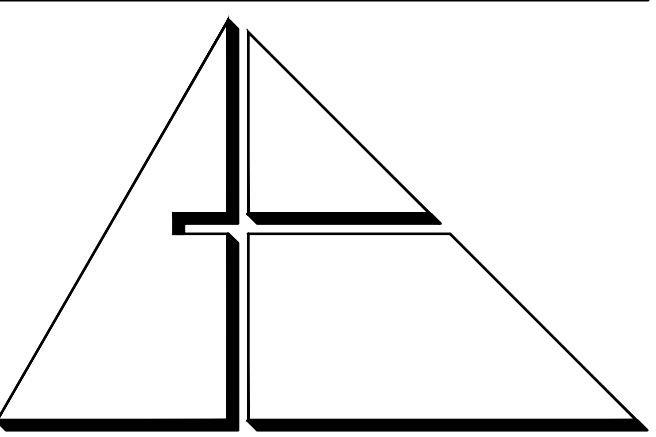
NOTE:
1. INSTALL PER MANUFACTURER RECOMMENDATION
2. CAULK / SEAL ALL AROUND THE SLEEVE (PENETRATION).
3. PROVIDE ENTRY-GARD ANTI INTRUSION PROTECTION.

| VENTILATION FAN SCHEDULE | |
|-----------------------------------|------------------|
| UNIT DESIGNATION | EF-1 |
| AREA SERVED | SEE PLAN |
| OPERATING WEIGHT, LBS. | 18 |
| LOCATION | CEILING |
| FAN TYPE | CEILING MNTD. |
| TOTAL AIR, CFM | 50 |
| DRIVE TYPE | DIRECT |
| FAN WHEEL TYPE | CENTRIFUGAL |
| FAN TIP SPEED, FPM MAX. | 1125 |
| FAN SPEED, RPM | - |
| TOTAL STATIC PRESSURE, IN. OF H2O | 0.125 |
| FAN MOTOR WATTS | 29 W |
| FAN MOTOR STARTER TYPE | - |
| STARTER FURNISHED BY | CONTRACTOR |
| ELECTRICAL SERVICE AVAILABLE | 120/15/60 |
| SONES | 2.4 |
| DESIGN MANUFACTURER | COOK - GEMINI |
| DESIGN MFG. MODEL NUMBER | LITTLE GEM-1 |
| SERVICE SWITCH | YES |
| SMOKE DETECTORS | NO |
| FIRE DAMPER | NO |
| CONSTRUCTION | GALVANIZED STEEL |
| MULTI-BLADE BACKDRAFT DAMPER | YES |
| BROSCREEN | YES |
| SOLID STATE SPEED CONTROL | NO |
| THERMOSTAT CONTROL | NO |
| FACTORY FABRICATED CURB MODEL No. | NO |
| 10 MIN. TIME OFF DELAY RELAY | YES |

NOTES: 1- PROVIDE ALUMINUM EXHAUST GRILLE (TYP.)
2- ACCEPTABLE MANUFACTURERS COOK, GREENHECK OR PENN
3- EXHAUST FANS SHALL BE INTERLOCKED WITH CORRESPONDING LIGHT SWITCH (TYP.)

| ROOM TYPE A/C UNIT SCHEDULE | | | |
|---------------------------------------|----------------------------|---------------|---------------|
| UNIT DESIGNATION | A/C-1095-1B A/C-1095-1C | A/C-1095-2 | A/C-1095-1A |
| MOUNTING TYPE | THRU THE WALL | THRU THE WALL | THRU THE WALL |
| AREA SERVED | SEE PLAN | SEE PLAN | SEE PLAN |
| DESIGN MANUFACTURER | FRIEDRICH | FRIEDRICH | FRIEDRICH |
| UNIT TYPE | ELECTRIC HEATER | HEAT PUMP | HEAT PUMP |
| DESIGN MFG. MODEL NO. | E08BN11 | YS12N33 | YM18N34 |
| AIR FLOW (CFM) | 175 | 265 | 370 |
| OUTSIDE AIR FLOW (CFM) | 30 | 30 | 30 |
| COOLING CAPACITY BTU/HR. | 7,600 | 11,500/11,300 | 18,200/17,800 |
| AIR ENTERING EVAPORATOR °F DB/WB | 80/67 | 80/67 | 80/67 |
| AIR LEAVING EVAPORATOR °F DB/WB | 56/- | 56/- | 56/- |
| ELECTRIC HEATING CAPACITY BTU/HR | 4,000 | - | - |
| HEAT PUMP CAPACITY BTU/HR | - | 9,400/9,000 | 17,900/17700 |
| COOP / HSPF | - | 2.4/8.2 | 2.5/8.5 |
| ELECTRICAL SERVICE AVAILABLE | 115-1-60 | 230-1-60 | 230-1-60 |
| UNIT TOTAL AMPS, F.L. COOL/HEAT | 6.9 / 11.2 | 5.4/5.8 | 8.9/8.7 |
| ENERGY EFFICIENCY RATIO (E.E.R.) MIN. | 10.5 | 10.5 | 9.9 |
| WEIGHT LBS. | 84 LBS | 136 LBS | 152 LBS |
| SLEEVE | YES | YES | YES |
| REFRIGERANT | R-410A | R-410A | R-410A |
| DIMENSIONS (HxWxD) | - | 16x26x29 | 16x26x29 |

NOTES:
1. ALL A/C UNITS SHALL BE PROVIDED WITH OUTSIDE AIR DAMPER, INSECT BARRIER, WASHABLE ANTIMICROBIAL AIR FILET, STEEL INNER WALL AND EXTRA DENSE INSULATION AND VIBRATION ISOLATION FILTER.
2. UNITS SHALL BE PROVIDED WITH 3 SPEED FAN CONTROL, PROGRAMMABLE TIMER AND WIRELESS REMOTE CONTROL.
3. ALL A/C UNIT SHALL BE PROVIDED WITH ENTRYGARD ANTI-INTRUSION PROTECTION.



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www.gartek-engineering.com

Gartek Project No. 2867

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PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

MECHANICAL
NOTES, SCHEDULES
AND DETAILS

SEAL:

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788
By my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE:

SEPTEMBER 15, 2014

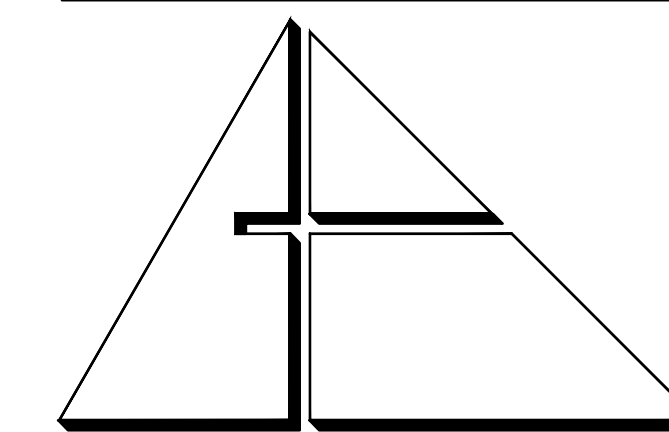
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CAD DRAWING NAME:

SHEET NO.:

BID SET

M-1



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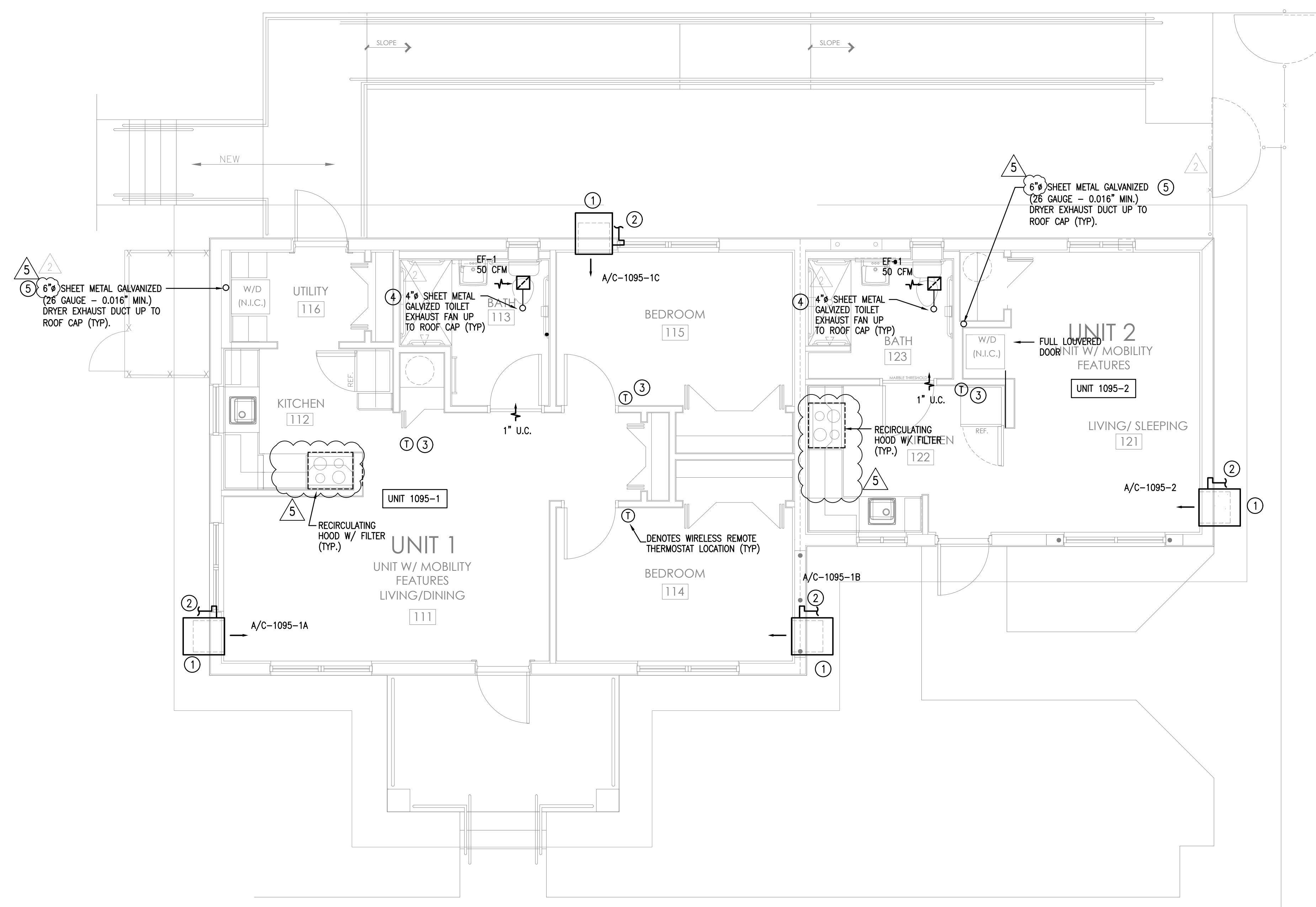
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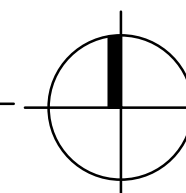
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MECHANICAL FLOOR PLAN
1095 NE 149 ST.

1/4" = 1'-0"



CODED NOTES:

- ① NEW THRU THE WALL A/C UNIT HIGH MOUNTING. SEE ARCH DWGS. FOR EXACT LOCATION AND DWG M-1 FOR MOUNTING DETAIL. (TYPICAL)
- ② 2" INSULATED CD LINE W/ TRAP. FOR CONT. SEE PLUMBING DWGS. (TYPICAL)
- ③ WIRELESS REMOTE THERMOSTAT, VERIFY EXACT LOCATION IN FIELD. (TYPICAL)
- ④ BATHROOM EXHAUST SYSTEM ROOF CAP SHALL BE PROVIDED WITH A CORROSION RESISTANT SCREEN. (TYPICAL)
- ⑤ ALL DRYER EXHAUST DUCT SHALL BE PROVIDED WITH SHEET METAL GALVANIZED BACKDRAFT DAMPER. (TYPICAL)

NOTE:

- 1. THERMOSTAT SHALL BE INSTALLED AT MAX. 48" A.F.F. ON ALL ADA UNITS.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
MIAMI, FL 33130

DRAWING TITLE:

MECHANICAL
FLOOR PLAN

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788
To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: SEPTEMBER 15, 2014

REVISED:

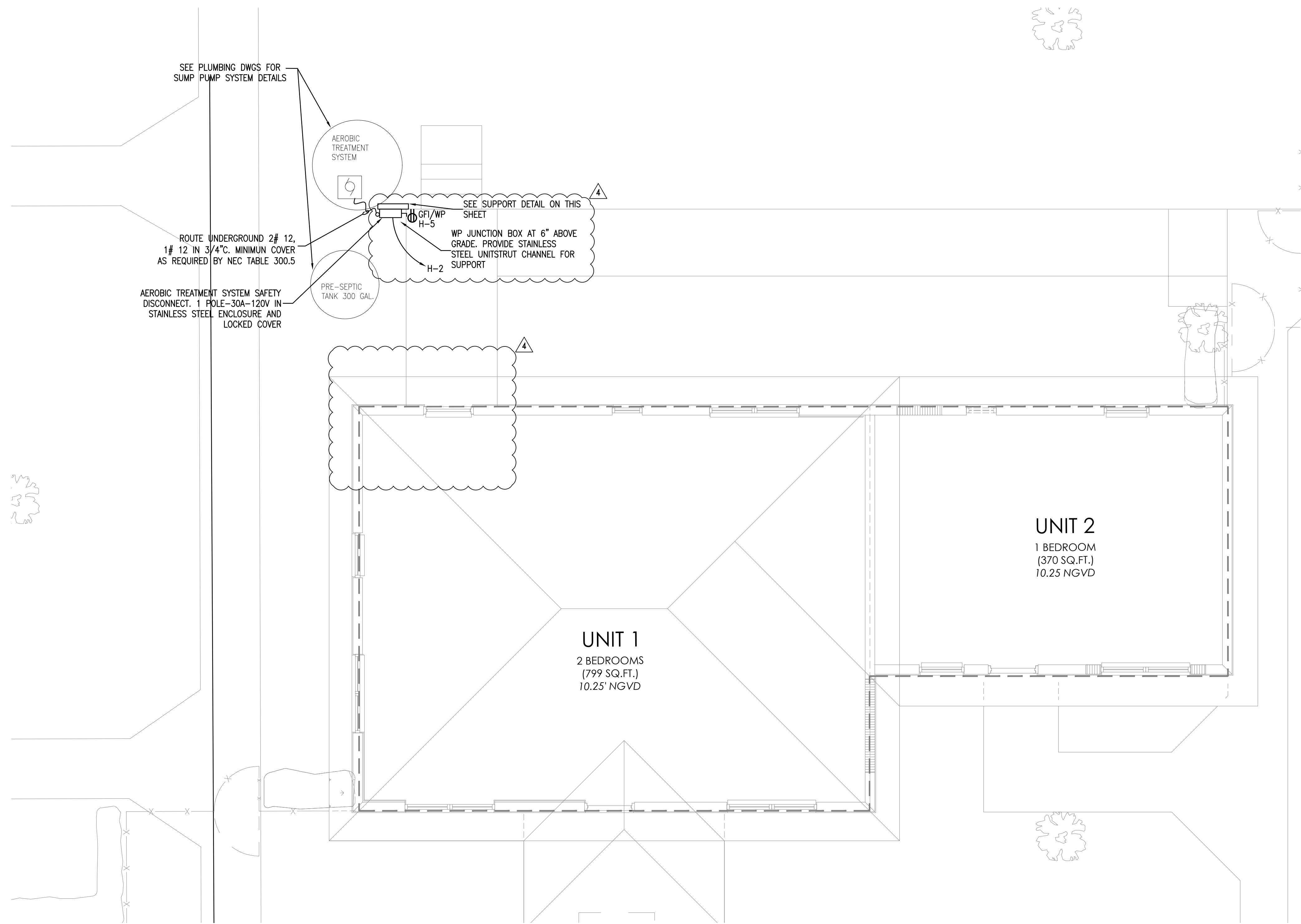
- △ 10-20-13 BACKGROUND CHANGE
- △ 12-13-13 BLDG. DEPT. COMMENTS
- △ 01-16-17 PLAN UPDATE

CAD DRAWING NAME:

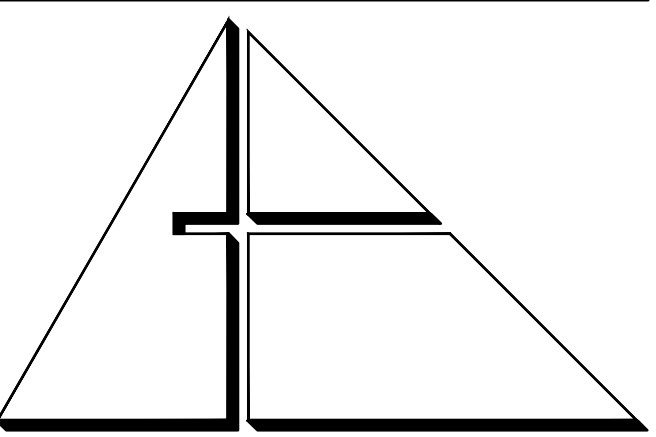
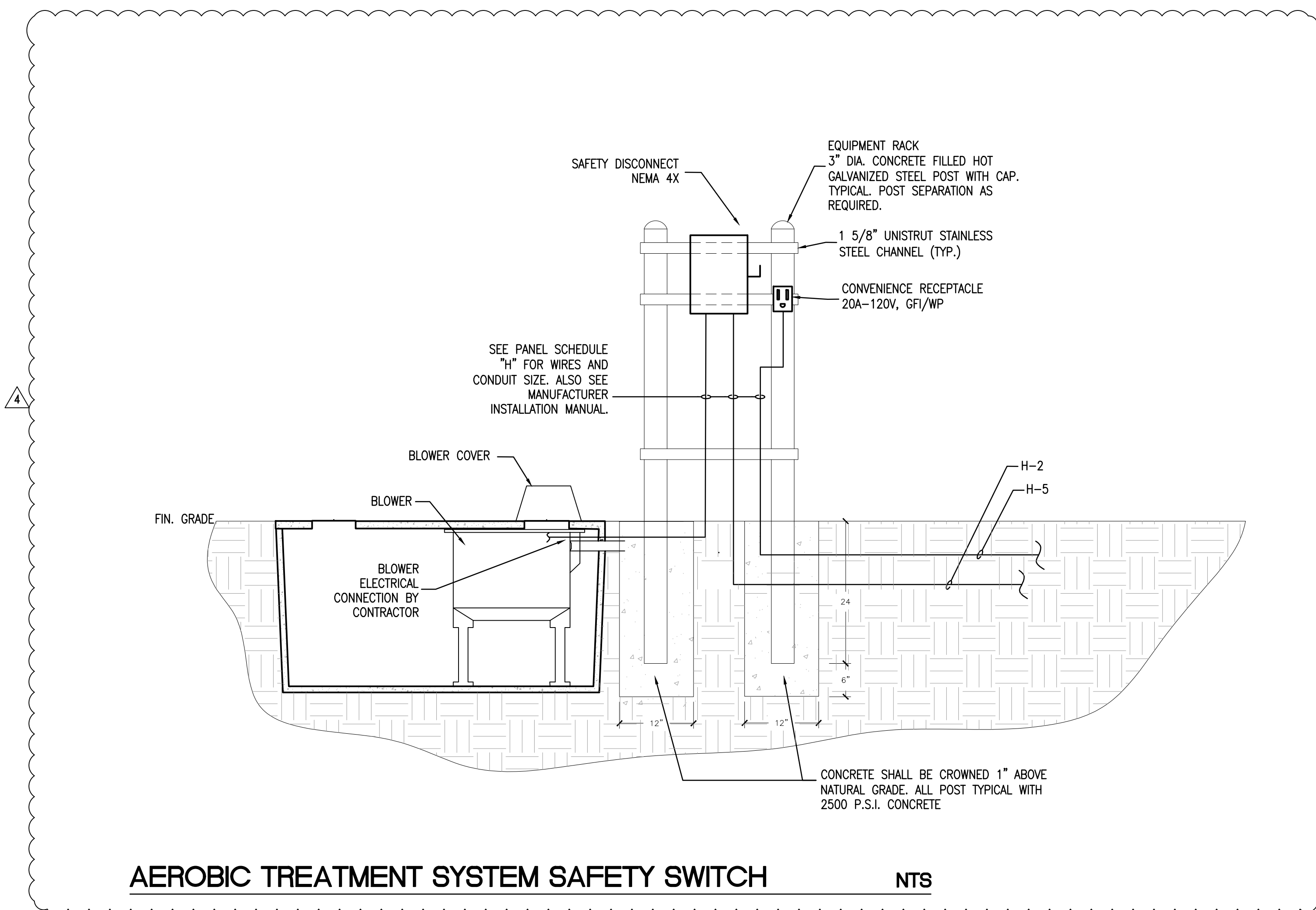
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M-2



ATU SYSTEM ELECTRICAL PLAN 1/4" = 1'-0"



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PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1095 NE 149 ST

MIAMI, FL

DRAWING TITLE:

ATU SYSTEM
ELECTRICAL PLAN

SCALE:

M. F. GARCIA P.E. (ELECTRICAL)
LICENSE NO. 24221

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE:

February 20, 2015

REVISED:

06-10-15 DGH COMMENTS

01-16-17 PLAN UPDATE

CAD DRAWING NAME:

SHEET NO.

BID SET

E-3