



CITY OF MIAMI - LIFE QUEST RENOVATIONS FOR 1301 N.E. 111th STREET

City of Miami Department of Community Development

BID SET - January 9th 2017

Miami-Dade County - Alteration Level 2

Owner's Representative:
Dollila Pinkhasov
Contract Compliance Analyst
City of Miami

Mayor
Tomas P. Regalado

Chairman
Leon Hardemon

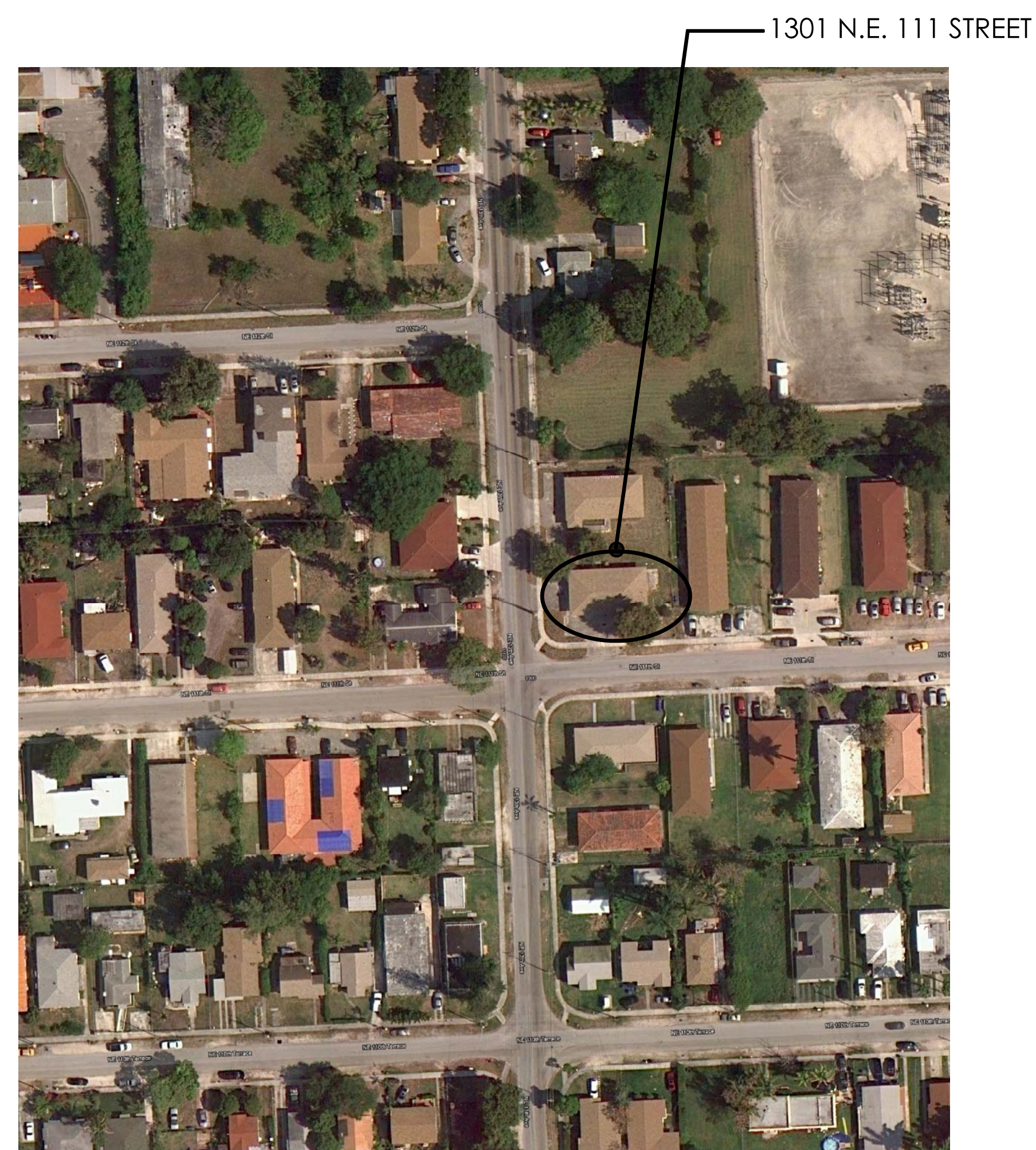
Vice-Chairman
Ken Russell

Commissioner
Frank Carollo

Commissioner
Marc Sarnoff

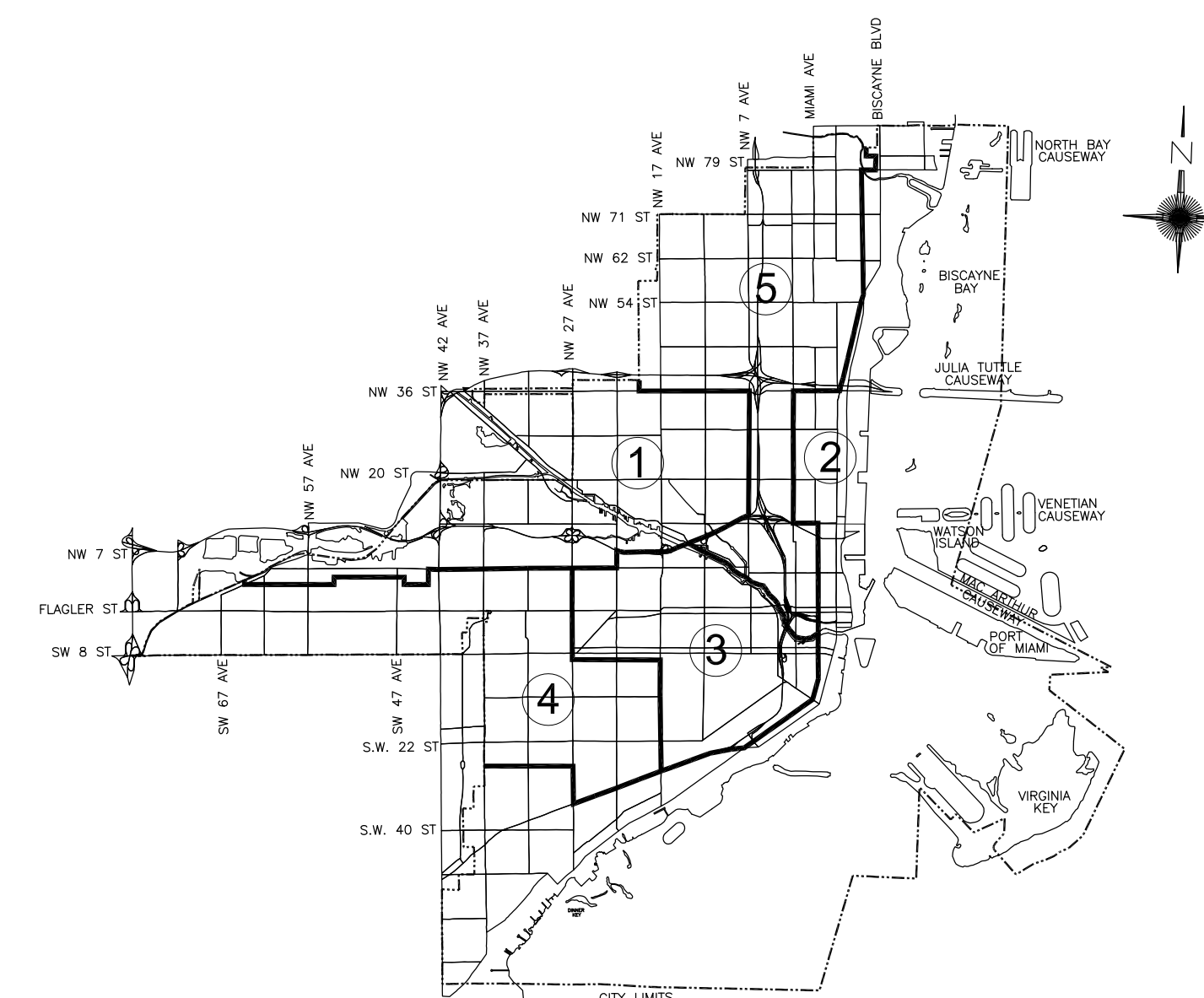
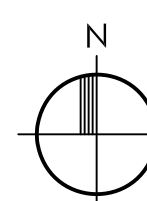
Commissioner
Francis Suarez

City Manager
Daniel J. Alfonso



LOCATION MAP

N.T.S.



INDEX OF DRAWINGS

-	COVER
ARCHITECTURAL	
A-1.0	SITE PLAN, SCOPE OF WORK, GENERAL NOTES AND DETAILS
A-1.1	DEMOLITION FLOOR PLAN
A-2.0	FLOOR PLAN AND BUILDING ELEVATIONS
A-2.1	EXTERIOR FINISHES
A-3.0	INTERIOR ELEVATIONS AND CABINET DETAILS
A-3.1	SCHEDULES AND DETAILS
A-3.2	PARTITION TYPES AND WALL SECTION
A-4.0	ROOF PLAN
A-4.1	ROOF DETAILS
A-5.0	REFLECTED CEILING PLAN
PLUMBING	
P - 1	PLUMBING NOTES, SPECIFICATIONS, LEGEND & SCHEDULES
P - 2	PLUMBING FLOOR PLAN
P - 3	PLUMBING DETAILS
P - 4	PLUMBING RISERS
P - 5	SEPTIC TANK DEMO NOTES AND DETAILS
P - 6	SEPTIC TANK SITE AND NEW WORK PLAN
MECHANICAL	
M - 1	MECHANICAL NOTES, SCHEDULES & DETAILS
M - 2	MECHANICAL FLOOR PLAN
ELECTRICAL	
E - 1	ELECTRICAL GENERAL NOTES , LEGEND, SITE PLAN & DETAIL
E - 2	ELECTRICAL POWER & LIGHTING FLOOR PLAN, PANELS & RISER
E - 3	ELECTRICAL PLAN AND DETAILS

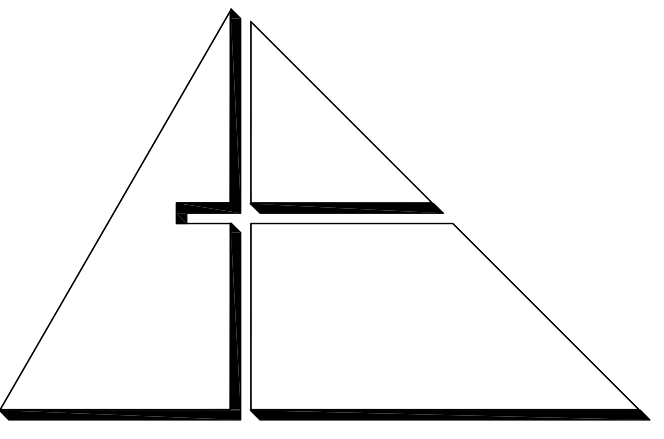
ARCHITECT:

ALLEGUEZ ARCHITECTURE, INC.
901 PONCE DE LEON BOULEVARD, SUITE 202
CORAL GABLES, FLORIDA 33134
TEL: (305) 461-4001 FAX: (305) 461-6002
WWW.ALLEGUEZARCHITECTURE.COM



MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

GARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 266-8997 FAX: (305) 264-9496
WWW.GARTEK-ENGINEERING.COM



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING INTERIOR DESIGN CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202 CORAL GABLES, FLORIDA 33134 (305) 481 4001 E-MAIL alleguez@bellsouth.net

CONSULTANTS: MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: GARTER ENGINEERING CORP. 7210 SOUTHWEST 39TH TERRACE MIAMI, FLORIDA 33155 TEL: (305) 264-8977 FAX: (305) 264-9476

SCOPE OF WORK

SCOPE OF WORK CONSISTS OF THE COMPLETE DEMOLITION AND REMOVAL OF ALL EXISTING INTERIOR COMPONENTS AND SELECTED EXTERIOR COMPONENTS INCLUDING BUT NOT LIMITED TO ALL INTERIOR FRAME PARTITIONS, FURNISH, ALL GYPSUM WALLBOARD CLADDING THROUGHOUT ALL INTERIOR SPACES - WALL AND CEILING, ALL TRIM, ALL CABINETWORK, ALL DOORS AND FRAMES (INTERIOR AND EXTERIOR) AND ALL WINDOWS.

EXTERIOR DEMOLITION AND REMOVAL INCLUDES, BUT IS NOT LIMITED TO SHINGLE ROOF SYSTEM, INCLUDING TRIM, AND ALL FRAMING. SELECTED SITE DEMOLITION TASKS ARE IDENTIFIED IN THE DRAWINGS. ADDITIONALLY ALL PLUMBING FIXTURES, INCLUDING ALL ACCESSORIES AND TRIM SHALL BE COMPLETELY REMOVED.

NEW CONSTRUCTION CONSISTS OF MIAMI-DADE COUNTY ALTERATION LEVEL 2 WORK AND INCLUDES, BUT IS NOT LIMITED TO NEW SHINGLE ROOF SYSTEM, NEW IMPACT RESISTANT WINDOWS AND DOORS, NEW RAILING, NEW STYRUM WALLBOARD FRAME PARTITIONS AND GYPSUM WALLBOARD OVER FRAMING AT CEILING AND EXTERIOR MASONRY WALLS. NEW INTERIOR WORK ALSO INCLUDES ALL NEW CABINETWORK, DOORS AND FRAMES, TRIM AND ALL FINISHES. NEW SITE WORK INCLUDES CLEARING OF EXISTING PERVIOUS SODDED AREAS, PRE-CAST CONCRETE DRIVEWAYS AND NEW CHAIN LINK FENCE WITH PEDESTRIAN GATES.

COMPLETE (DEMOLITION AND NEW WORK) MECHANICAL, ELECTRICAL AND PLUMBING (MEP) SCOPE IS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS FOR THOSE DISCIPLINES.

GENERAL NOTES

- 1. GENERAL NOTES ON THE PROJECT PLANS AND DRAWINGS ARE SOLELY TO AID AND ASSIST THE CONTRACTOR WITH THE FIELD OPERATIONS FOR THE PROJECT. SAID GENERAL NOTES MAY NOT FULLY DESCRIBE ALL OF THE REQUIREMENTS FOR AN ITEM, THEREFORE THE CONTRACTOR SHALL READ AND VERIFY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO THE PLANS, SPECIFICATIONS, GENERAL TERMS AND CONDITIONS, AND THE SUPPLEMENTAL TERMS AND CONDITIONS, TO FULLY UNDERSTAND AND COMPLY WITH ALL THE REQUIREMENTS THEREIN.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL UTILITY MARKINGS ONCE THE WORK IS COMPLETED. CONTRACTOR SHALL USE SPECIAL CARE WHEN REMOVING THE UTILITY MARKINGS. THE REMOVAL METHOD NEEDS TO BE SUCH THAT IT DOES NOT DAMAGE THE SURFACES OF THE EXISTING WORK ALREADY IN PLACE. IF WATER-BLASTING OLDER ASPHALT PAVEMENT, CARE NEEDS TO BE TAKEN TO NOT DISCOLOR THE ASPHALT OR FLUSH THE AGGREGATE. IF THE REMOVALS ARE ON OLDER CONCRETE SURFACES, THE ENTIRE SURFACE OF A PANEL OR SECTION NEEDS TO BE BLASTED TO SHOW UNIFORM COLOR THROUGHOUT THAT SAME PANEL OR SECTION. IN ANY CASE (ASPHALT OR CONCRETE SURFACE), THE METHOD NEEDS TO BE SUCH THAT A SIGNIFICANT PORTION OF THE SURFACE REMAINS INTACT. FINISH PAYMENT TO THE CONTRACTOR MAY BE WITHHELD UNTIL THE UTILITY MARKS ARE PROPERLY REMOVED.
3. THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREBY SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE CONTRACTOR AND ALL SUBCONTRACTORS. THE CONTRACTOR SHALL COORDINATE EACH OF THE SUBCONTRACTORS' WORK WITH OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS AT THE JOBSITE. THE CONTRACTOR SHALL COORDINATE ACTUAL FIELD CONDITIONS WITH THE WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING AND ANY CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED. BY SUBMISSION OF A BID FOR CONSTRUCTION, THE CONTRACTOR AND HIS SUBCONTRACTORS ACKNOWLEDGE THE ABOVE INSPECTION AND INCLUDE IN ITS PROPOSAL ALL COSTS AND/OR FEES PERTAINING TO THE INSPECTION BY THE ARCHITECT SO THAT THE ARCHITECT CAN CONDUCT THE SAME INSPECTION SET AND ANY ADDENDA. THESE COSTS MIGHT INCLUDE, BUT ARE NOT LIMITED TO, THE REMOVAL, RELOCATION, AND/OR REPAIR OF ANY EXISTING OBJECTS OR OBSTRUCTIONS WHICH MAY BE ENCOUNTERED IN PERFORMING THE WORK.
5. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL STATE AND LOCAL CODES HAVING JURISDICTION, THE FLORIDA BUILDING CODE, AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY ANY OF THESE ENTITIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. RESULTING CHANGES, MAY BE SHOWN AS DETERMINED BY THE ARCHITECT, ON REVISIONS ISSUED TO THE CONTRACTOR. ANY ADJUSTMENTS TO CONSTRUCTION FEES SHALL TAKE PLACE AT THIS TIME AND SUBMITTED FOR CONSIDERATION AND APPROVAL OF THE ARCHITECT AND OWNER.
6. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR, OBTAIN, AND PAY, FOR ALL PERMITS, TESTS, INSPECTIONS AND APPROVALS REQUIRED FOR ITS PORTION OF THE WORK. THE CONTRACTOR SHALL COORDINATE EACH OF THE SUBCONTRACTORS' WORK WITH OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT.
7. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE CONTRACTOR MUST CONTACT THE ARCHITECT OR ENGINEER PRIOR TO SCHEDULE THE INSPECTION WITH THE BUILDING INSPECTOR SO THAT THE ENGINEER CAN CONDUCT THE SAME INSPECTION AND INITIAL THE INSPECTION LOG AS REQUIRED BY THE FLORIDA BUILDING CODE.
8. THE CONTRACTOR SHALL MAINTAIN RECORDS OF DEVIATIONS FROM THE DRAWINGS AND PREPARE AS-BUILT RECORD DRAWINGS SHOWING CORRECTLY AND ACCURATELY ALL CHANGES AND DEVIATIONS MADE DURING CONSTRUCTION TO REFLECT THE WORK AS IT WAS ACTUALLY CONSTRUCTED. REFER TO FRONT END SPECIFICATIONS FOR FURTHER INFORMATION AND REQUIREMENTS PERTAINING TO THE AS-BUILT DRAWINGS/ DOCUMENTATION.
9. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE PERSONS USING OR OCCUPYING ADJACENT ROU AND/OR SITES.
10. WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.
11. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO SUBCONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER SUBCONTRACTOR.

UNIT PRICES

- 1. CONCRETE SIDEWALKS: PROVIDE SQUARE FOOTAGE UNIT COST TO REPLACE ALL DAMAGED SECTIONS OF EXISTING ON-GRADE CONCRETE SIDEWALKS, INCLUDING, AT A MINIMUM, ANY SURFACE CRACKS EXCEEDING 1/4" IN WIDTH AND DEPTH. COST SHALL BE PROVIDED FOR ENTIRE WIDTH OF SIDEWALK, WHICH ENCOMPASSES THE DAMAGED AREAS.
SIDEWALK SHALL MATCH EXISTING FINISH WIDTHS AND THICKNESS (4" MINIMUM, 6" AT DRIVEWAYS). PROVIDE 6x6x10 WIRE WELDED MESH AT DRIVEWAYS. PROVIDE 1/8" X 1-1/2" DEEP SAILED JOINTS @ 8'-0" O.C. MAXIMUM AND 1/4" OPEN JOINTS WITH 1/2" RADIUS TOP EDGES AT CHANGE OF DIRECTION AREAS.
2. STUCCO REPAIRS: PROVIDE SQUARE FOOTAGE UNIT COSTS FOR STUCCO REPAIRS AS FOLLOWS:
a. LOCATED EXPOSED STUCCO WALL AREAS WITH CRACKING, DELAMINATION FROM THE SUBSTRATE.
b. AT DELAMINATED AREAS, REMOVE STUCCO SURFACING, CLEAN SUBSTRATE APPLY PRIMER AND/OR BONDING COMPOUND. APPLY STUCCO RESURFACING TO MATCH EXISTING THICKNESS AND TEXTURE.
c. AT CRACKS, CLEAN OUT LOOSE MATERIALS, PRIME INSIDE SURFACES. FOR LARGE CRACKS, FILL WITH STUCCO PATCHING LEVELING MATERIAL. FOR SMALL CRACKS, FILL CRACK WITH COMPATIBLE SEALANT AND STRIKE FLUSH WITH ADJACENT SURFACE.
d. UPON COMPLETION OF REPAIRS AND ADEQUATE CURING TIME, PAINT ENTIRE WALL SURFACES PER PROJECT REQUIREMENTS.
3. CONCRETE STAIRS, LANDINGS AND RAMP REPAIRS: PROVIDE SQUARE FOOTAGE UNIT COST TO REPAIR REPAIRS AND MAINTENANCE WORK TO THE EXISTING EXPOSED CONCRETE STAIRS, RAMP AND LANDING AS FOLLOWS:
a. INSPECT ALL EXISTING CAST-IN PLACE CONCRETE STAIRS, RAMP AND LANDING SURFACES FOR DAMAGE AND/OR DETRIORATION.
b. REMOVE ALL AREAS OF CRACKED AND/OR SPALLED CONCRETE DOWN TO SOLID SUBSTRATE.
c. CLEAN AND TREAT ANY EXPOSED REINFORCING STEEL WHICH EXHIBITS CORROSION OR DETRIORATION PER THE REPAIR COMPOUND MANUFACTURER.
d. APPLY CONCRETE REPAIR COMPOUND TO SEAL AND RESTORE PROFILE OR SURFACE.
4. BOARD AND/OR PLYWOOD ROOF SHEATHING: PROVIDE COSTS TO REPLACE ALL DAMAGED ROOF SHEATHING SECTIONS WITH SAME. BOARD SHEATHING COSTS SHALL BE SUBMITTED IN LINEAR FOOTAGE (L.F.). PLYWOOD SHEATHING COSTS SHALL BE SUBMITTED IN SQUARE FEET (SF.).

CODE COMPLIANCE STATEMENTS

- 1. HUD SECTION 504 STATEMENT: AT LEAST ONE BUILDING UNIT TYPE (I.E. EFFICIENCY AND/ OR NUMBER OF BEDROOMS) HAVE BEEN MODIFIED AND RENOVATED TO COMPLY WITH FEBCA 2010 MOBILITY SECTIONS 2332 AND COMMUNICATION SECTION 2333, TO THE GREATEST EXTENT POSSIBLE IN COMPLIANCE WITH HUD SECTION 504.
2. THIS PROJECT IS FUNDED THRU THE FEDERAL GOVERNMENT AND IS COVERED BY TITLE II OF THE ADA

ALTERNATE BID ITEMS

- 1. CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE BID PRICE FOR MILLING AND RESURFACING ONE-INCH(1") MINIMUM DEPTH FOR PARKING FIELD & DRIVE WITH A FINAL COMPACTED THICKNESS OF 8P-9S (8-11)
2. CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE BID PRICE FOR REMOVAL OF THE EXISTING STUCCO (ALL SIDES) BY SANDBLASTING DOWN TO THE CMU SUBSTRATE AND PROVIDING A NEW 2 COAT STUCCO SYSTEM (MINIMUM OVERALL THICKNESS 5/8"). ALL NEW STUCCO SURFACES SHALL BE PRIMED AND PAINTED. REMOVE GRADING AROUND PERIMETER OF BUILDING TO ALLOW FOR PROPER AND COMPLETE REMOVAL OF EXISTING STUCCO AND TO ALLOW FOR NEW STUCCO APPLICATION 6" BELOW FINISH GRADE MIN.

CODE COMPLIANCE NOTES

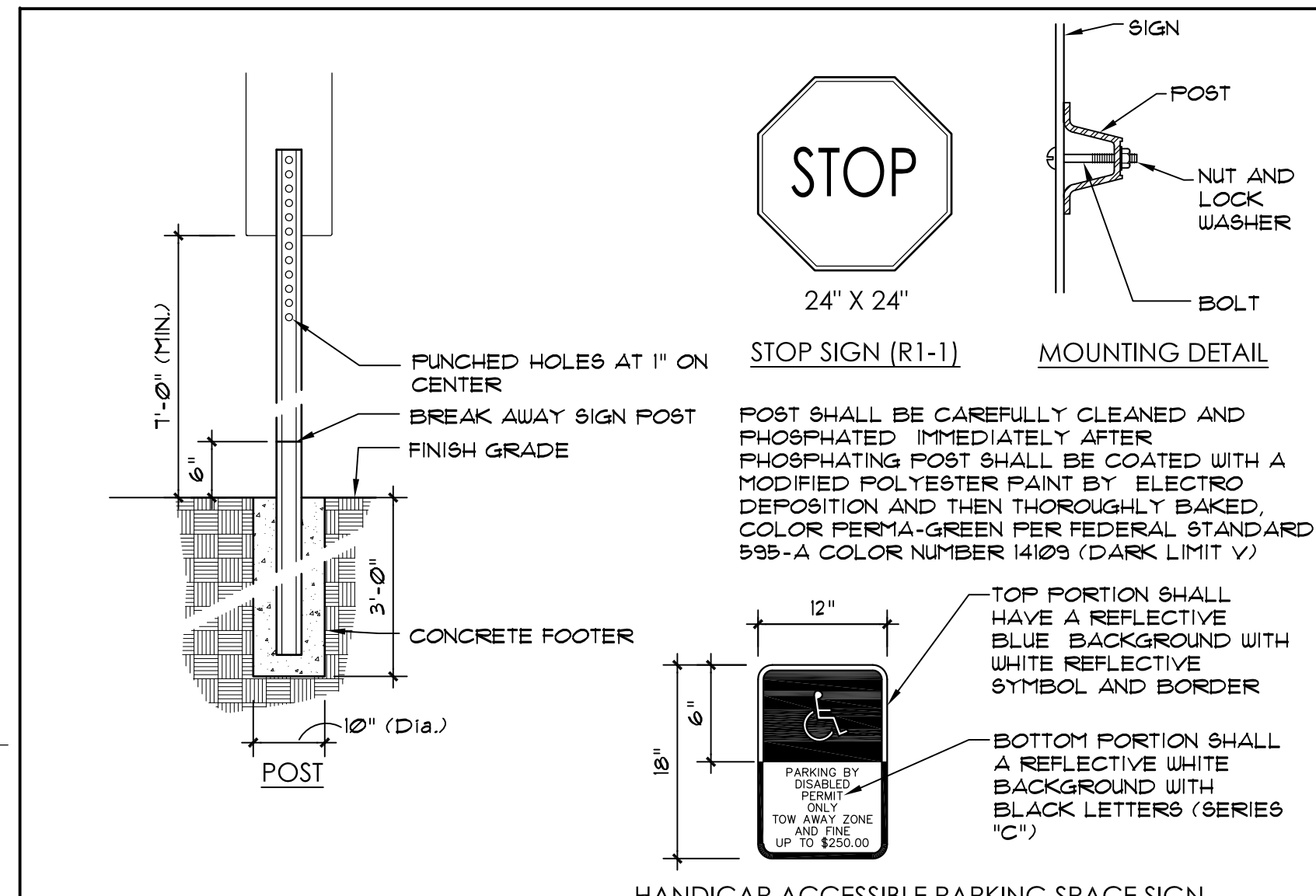
- 1. PROVIDE HORIZONTAL FIRE BLOCKING IN CONCEALED SPACES/CAVITIES OF FRAME STUD PARTITIONS AND FURRED SPACES AT VERTICAL INTERVALS NOT TO EXCEED 10'-0".
2. WALLS AND CEILING SHALL HAVE A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 AS PER FBC 2010 R302.92
3. A COMMON 2HR FIRE RESISTANCE RATED WALL TO UNDERSIDE OF ROOF SHEATHINGS (UL 263) IS REQUIRED, AS PER R302 FIRE RESISTANT CONSTRUCTION
4. ROOF TO BE COVERED WITH A MINIMUM CLASS C ROOF COVERINGS AND THE ROOF DECKING OR SHEATHING IS OF NONCOMBUSTIBLE MATERIALS OR APPROVED FIRE RETARDANT TREATED WOOD FOR A DISTANCE OF 4 FEET FROM EACH SIDE OF THE WALL OR ONE LAYER 5/8" TYPE GYPSUM BOARD IS INSTALLED DIRECTLY BENEATH THE ROOF DECKING OF SHEATHINGS TO COMPLY WITH FBC 2010 SECTION R302.22.
5. ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL HAVE EXISTING WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD AS PER FBC 2010 SECTION R302.1 UNDER-STAIR PROTECTION.
6. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AS PER FBC 2010 SECTION R302.9 FLAME SPREAD INDEX.
7. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER FBC 2010 SECTION R302.92
8. INSULATION FLAME SPREAD INDEX SHALL NOT EXCEED 25 WITH AN ACCOMPANYING SMOKE -DEVELOPED INDEX NOT TO EXCEED 450 AS PER FBC 2010 R302.10
9. GLAZING MUST BE NOT LESS THAN 80 FT. NATURAL VENTILATION IS REQUIRED, 4 PERCENT OF FLOOR AREA. R303.1 HABITABLE ROOMS.
10. EMERGENCY EGRESS AT ALL SLEEPING UNITS IS PROVIDED AND LABELED AS PER FBC 2010 SECTION R303.1.
11. CONTRACTOR TO PROVIDE SMOKE ALARM IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CONTRACTOR TO INTERCONNECT SMOKE ALARMS UPON ACTIVATION AS PER FBC 2010 SECTION R314.3.
12. CARBON MONOXIDE ALARMS TO BE PLACED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES AS PER FBC 2010 SECTION R315.1.

WARNING - PRIOR TO DIGGING

LEGAL DESCRIPTION

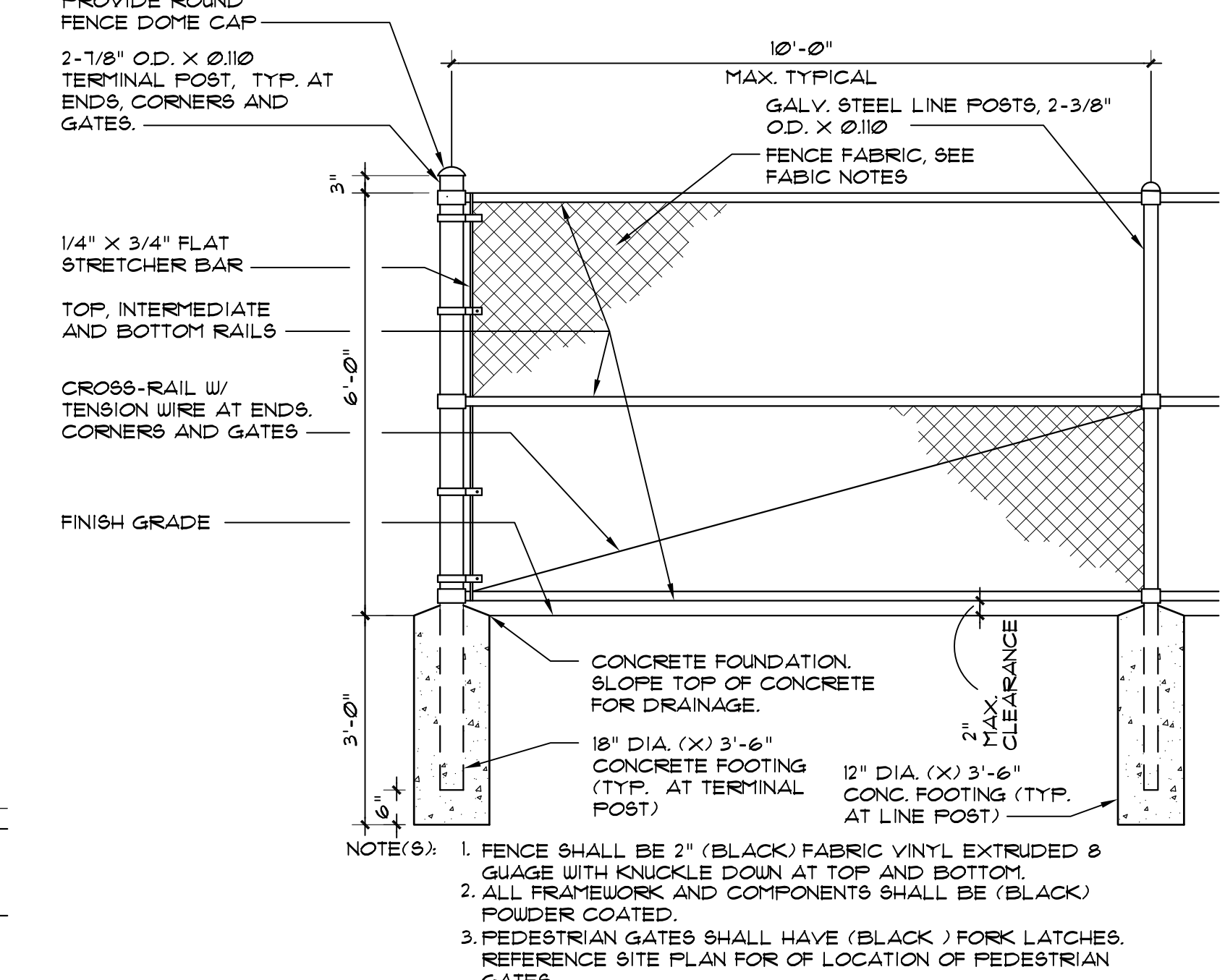
LOT 7 IN BLOCK 1 OF "JAFFE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 85 AT PAGE 95 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

72 HOURS PRIOR TO DIGGING, THE CONTRACTOR SHALL COORDINATE ALL SUCH WORK WITH ALL UNDERGROUND UTILITY SERVICES COMPANIES TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES. ADDITIONALLY, THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4710) TO ASSURE THAT ALL UTILITIES HAVE BEEN IDENTIFIED AND LOCATED.

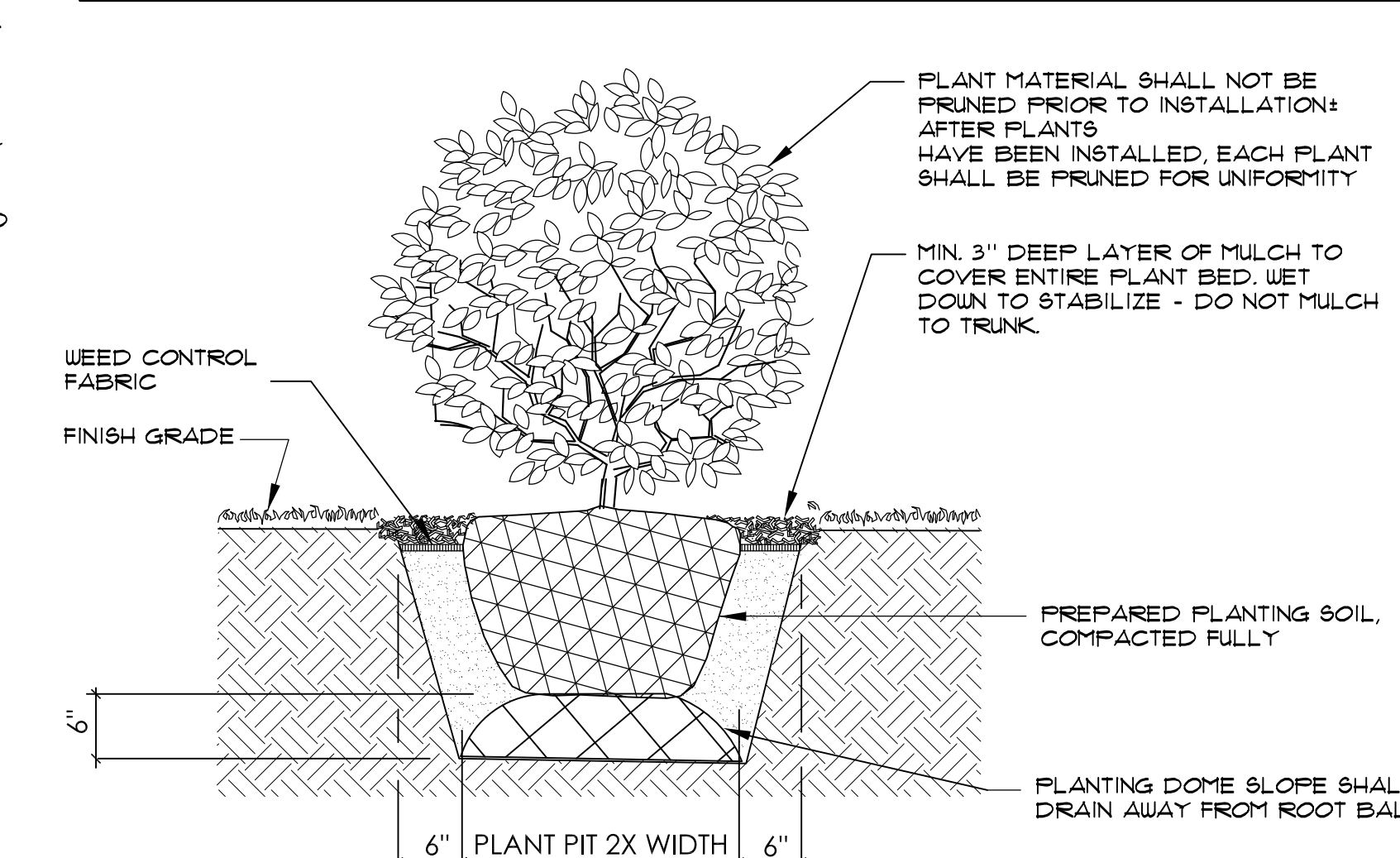


SIGN AND POST DETAILS N.T.S.

- 1. HANDICAP SIGN SHALL COMPLY WITH FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION AND WITH THE LATEST REQUIREMENTS OF GOVERNMENT BODIES HAVING JURISDICTION.
2. ALL SIGNS SHALL COMPLY WITH THE LATEST EDITION OF THE PUBLIC WORKS STANDARD DETAILS "R" 19.1.



TYPICAL FENCE DETAIL N.T.S.

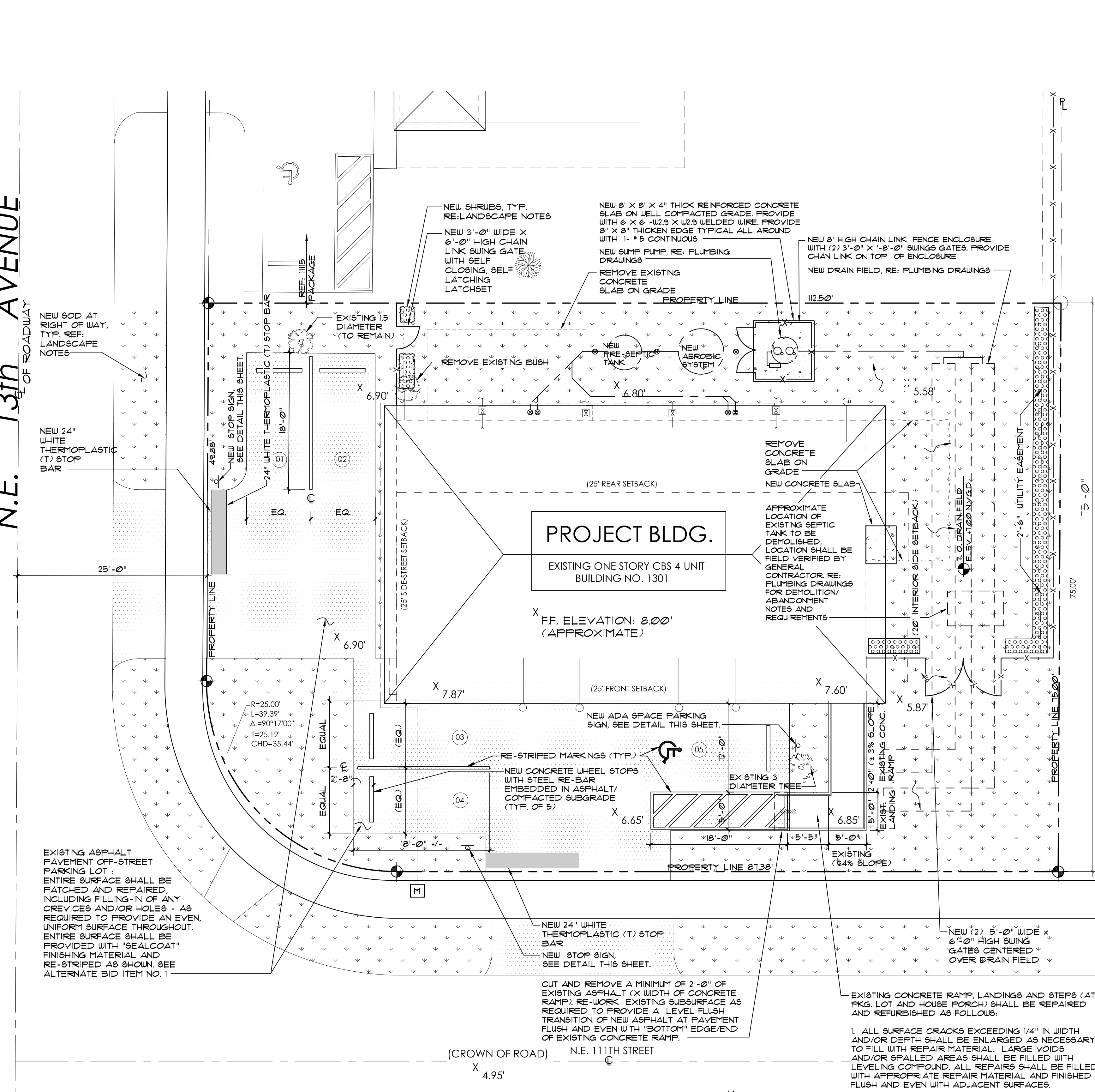


TYPICAL SHRUB INSTALLATION N.T.S.

LANDSCAPE NOTES

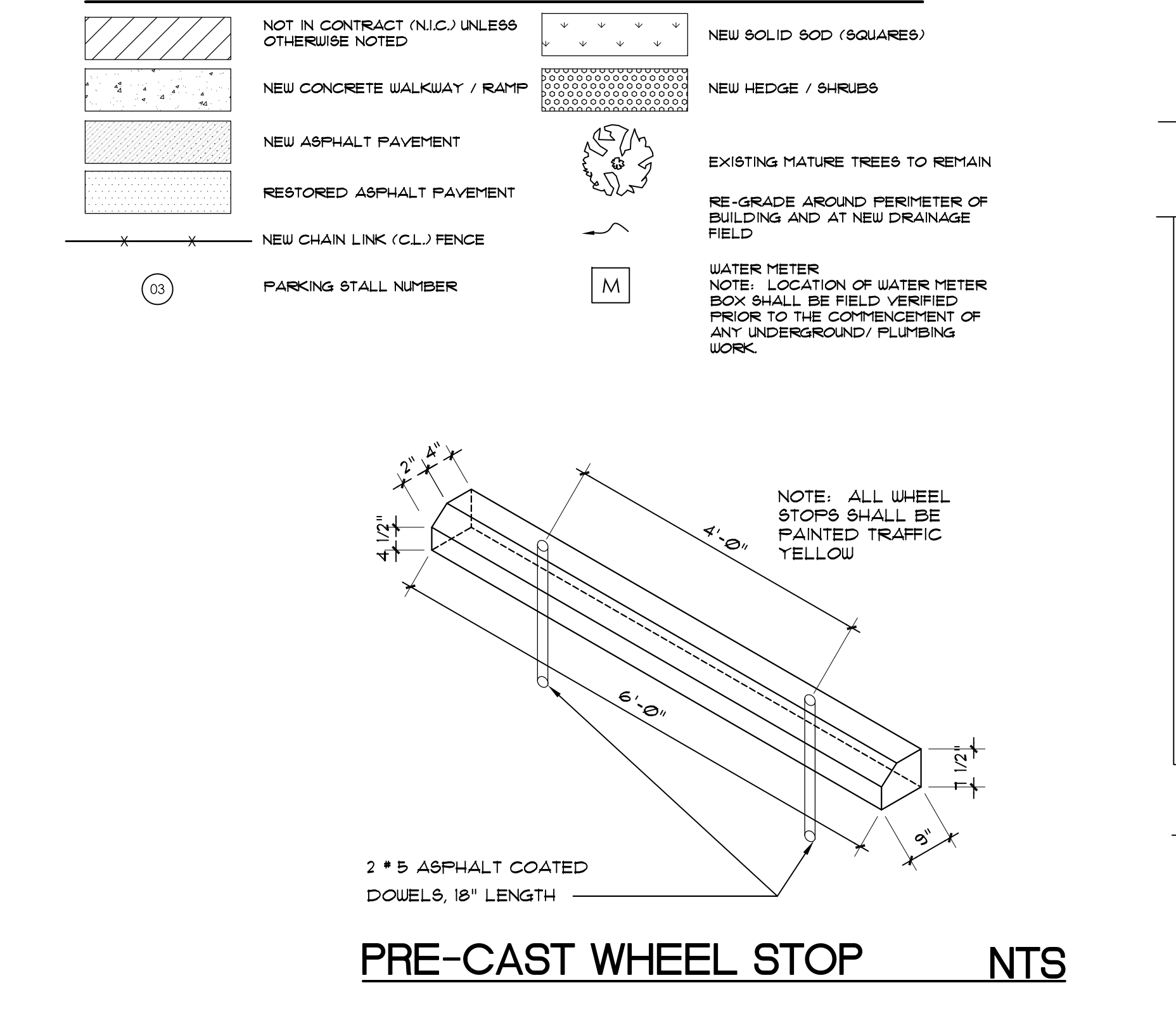
- 1. ALL PERVIOUS SURFACES (WITHIN PROPERTY LINES) SHALL BE CLEARED OF ALL DELETERIOUS MATERIALS INCLUDING ALL SOD, WEEDS, ROCK MATERIAL - NOT SUITABLE FOR INSTALLATION OF NEW SOLID SOD (SQUARES) AND SHRUBS. ENTIRE LOT SHALL BE GRADED AS REQUIRED TO PROVIDE AN EVEN, UNIFORM SURFACE WHICH SHALL SLOPE AWAY FROM BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITION OF SOD AND SHRUBS/HEDGES THROUGHOUT THE CONSTRUCTION PHASE AND SHALL WATER ALL SODDED AND PLANTED AREAS AS NECESSARY TO ENSURE ALL ARE THRIVING UP TO ISSUANCE OF SUBSTANTIAL COMPLETION. ALL LANDSCAPE WORK SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM SUBSTANTIAL COMPLETION.
2. ALL PLANT MATERIAL SHALL BE GRADED FLORIDA # OF BETTER AS DEFINED IN THE GRADING AND STANDARDS FOR NURSERY PLANTS, PART I AND II, BY THE STATE IF FLORIDA, DEPARTMENT OF AGRICULTURE.
3. ALL LANDSCAPE MATERIAL SHALL COMPLY WITH COUNTY, CITY OR LOCAL ORDINANCES.
4. VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES WITH OWNER'S REPRESENTATIVE PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
5. ALL (EXISTING) TREES AND NEW HEDGE / SHRUBS SHALL RECEIVE A 3" DEEP LAYER OF SHREDDED EUCALYPTUS MULCH. PROVIDE A 3" WIDE STRIP OF SHREDDED EUCALYPTUS MULCH BETWEEN SOD AND HEDGE / SHRUBS.
6. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL AT TIME OF INSTALLATION.
7. NEW HEDGE: PROVIDE COCOPLUM HEDGE, 3 GALLON (24" X 24") AT 2' ON CENTER, AS SHOWN. REFER TO LANDSCAPE NOTES AND INSTALLATION DETAIL THIS SHEET.
NEW PLANTING: ALL PERVIOUS SURFACES (WITHIN PROPERTY LINES) SHALL BE CLEARED OF ALL DELETERIOUS MATERIAL, INCLUDING ALL SOD, WEEDS, ROCK AND MATERIAL(S) - NOT SUITABLE FOR INSTALLATION OF NEW SOLID SOD (SQUARES) AND SHRUBS. ENTIRE LOT SHALL BE GRADED AS REQUIRED TO PROVIDE AN EVEN, UNIFORM SURFACE WHICH SHALL SLOPE AWAY FROM BUILDING. ENTIRE LOT SHALL BE GRADED AS REQUIRED TO PROVIDE AN EVEN, UNIFORM SURFACE WHICH SHALL SLOPE AWAY FROM BUILDING. ENTIRE LOT / PROPERTY SHALL BE PROVIDED WITH NEW ST. AUGUSTINE SOLID SOD AS PER LANDSCAPE NOTES THIS SHEET.
8. PROVIDE 3" (DEEP) TOPSOIL MIX FOR ALL SODDED AREAS CONSISTING OF 80% SAND AND 20% MUCK THOROUGHLY MIXED BY A COMMERICAL SHREDDER. MIXTURE SHALL BE FREE OF ROCKS, ROOTS, BRANCHES AND OTHER SIMILAR MATTER.
9. ALL SITE AREAS NOT COVERED BY BUILDING, PAVING, SIDEWALKS, AND HEDGES / SHRUBS ARE TO BE SODDED.
10. SOLID SOD SHALL BE ST. AUGUSTINE FLORATIAN.

N.E. 13th AVENUE

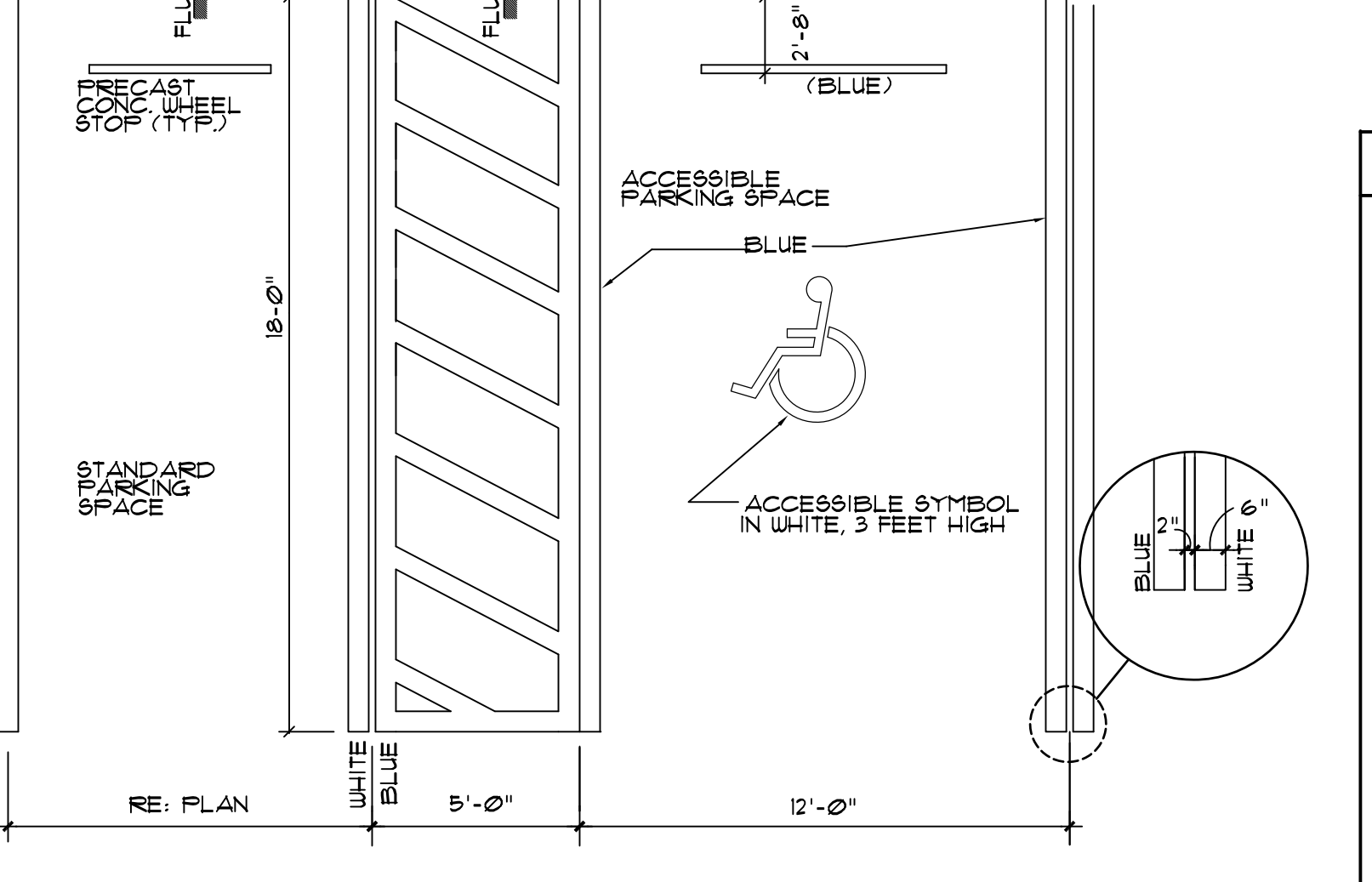


SITE PLAN 1/8" = 1'-0" showing notes on road, site and building elevations and a north arrow.

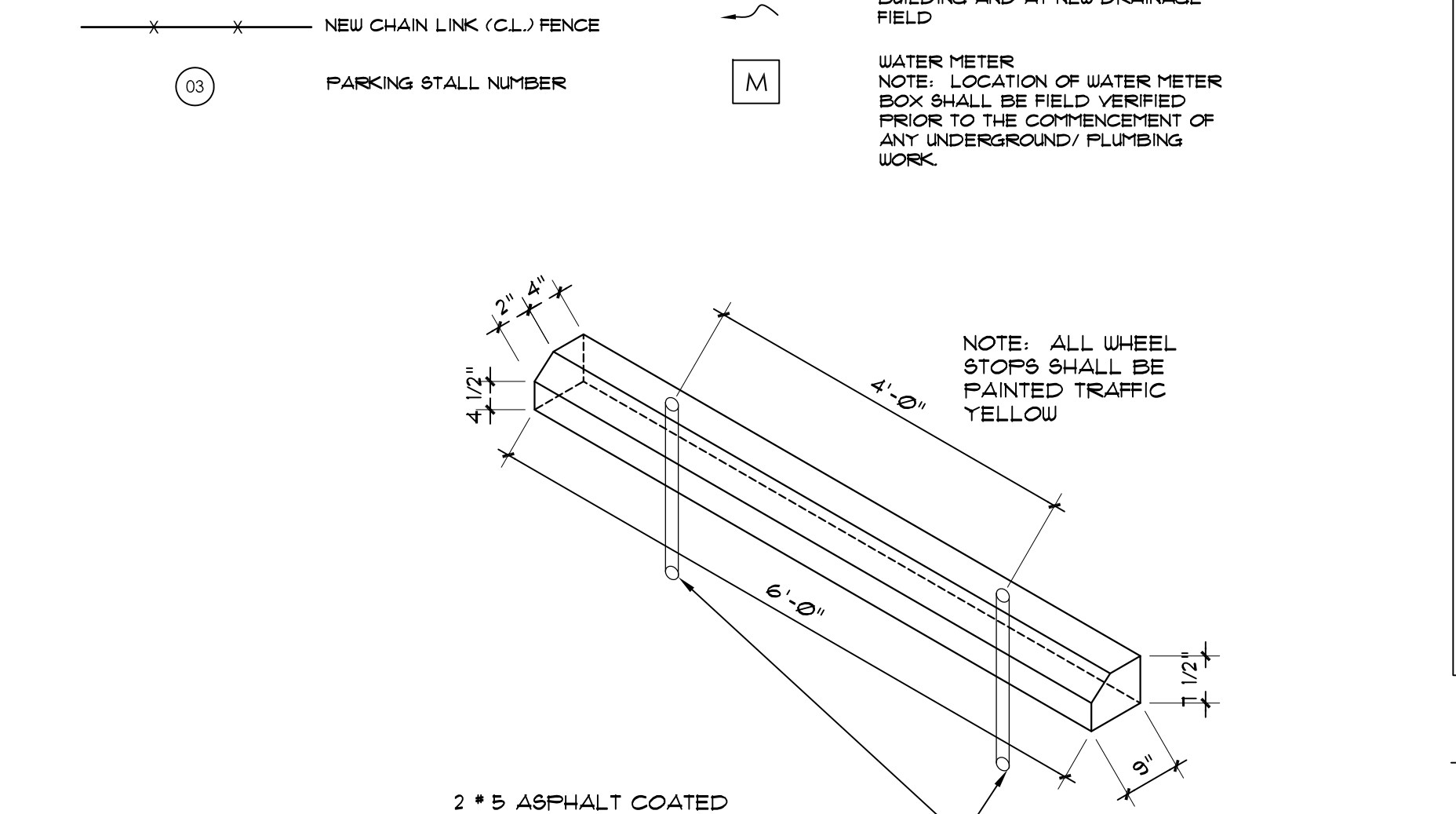
DRAWING LEGEND:



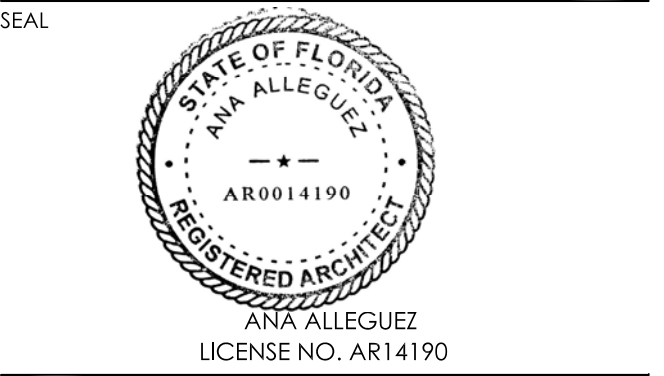
ACCESSIBLE PARKING SPACE DETAIL 1/4"=1'-0"



PRE-CAST WHEEL STOP NTS

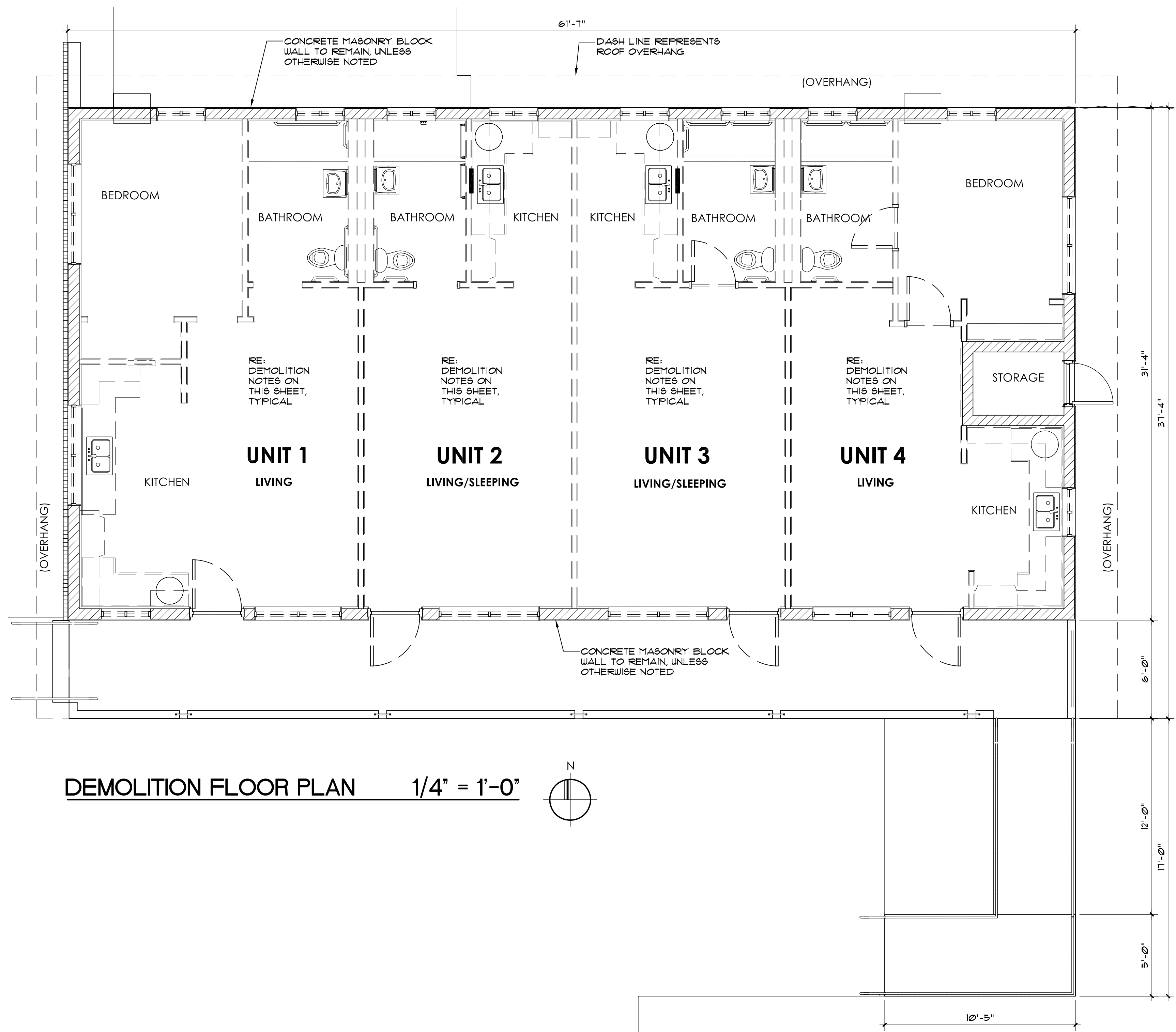


CITY OF MIAMI LIFE QUEST RENOVATIONS 1301 N.E. 111 ST.



DATE: APRIL 15th, 2015 REVISED: CAD DRAWING NAME: 1301 A-1.0.DWG SHEET NO.

BID SET A-1.0

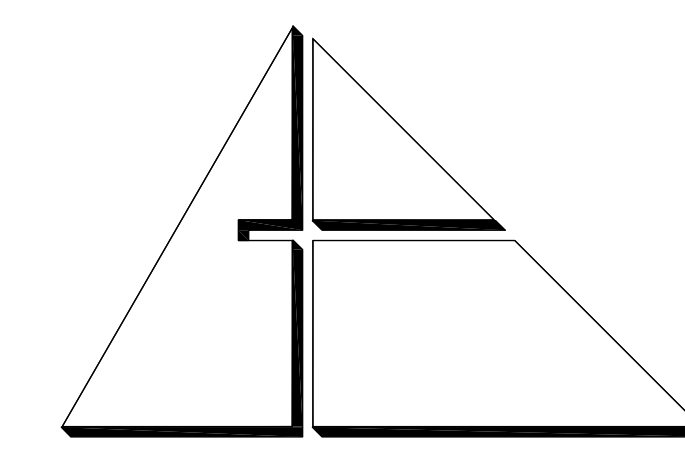


GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.
2. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND TEMPORARY SAFEGUARDS AND WARNING SIGNS - AS REQUIRED.
3. ALL FINISHES AND SURFACES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION AND/OR DURING NEW CONSTRUCTION SHALL BE REPAIRED AND REPLACED TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN WRITTEN FORM WITHIN THREE DAYS.
5. ACTUAL EXISTING DIMENSIONS SHALL GOVERN.
6. DEMOLITION FLOOR PLAN DEPICTS CURRENT/EXISTING BUILDING LAYOUT-EXTERIOR, INCLUDING WINDOWS AND DOORS AND INTERIOR, INCLUDING PARTITION CONFIGURATION, PLUMBING FIXTURES AND CASEWORK.

DEMOLITION TASKS

1. ALL EXISTING UNITS ROOM/PARTITION LAYOUTS, INCLUDING KITCHEN AND BATHROOM LAYOUTS ARE SIMILAR TO CORRESPONDING NEW LAYOUTS.
2. DEMOLITION TASKS INCLUDED HEREIN APPLY TO ALL FOUR (4) INDIVIDUAL UNITS.
3. REMOVE ALL FRAME AND GYPSUM BOARD PARTITIONS AND ALL FURRING AND GYPSUM BOARD ON EXTERIOR CMU WALLS, THROUGHOUT ALL INTERIOR SPACES.
4. REMOVE ALL GYPSUM BOARD AND FURRING CEILING (AT UNDERSIDE OF ROOF TRUSSES) THROUGHOUT ALL INTERIOR SPACES.
5. REMOVE ALL MILLWORK AND ALL ARCHITECTURAL TRIM WORK.
6. REMOVE ALL INTERIOR WOOD DOORS AND FRAMES AND ALL EXTERIOR ALUMINUM DOORS AND WOOD FRAMES.
7. REMOVE ALL ALUMINUM FRAME AND GLASS WINDOWS (IN EXTERIOR MASONRY WALLS).
8. REMOVE ALL ARCHITECTURAL FINISHES INCLUDING VCT AND CERAMIC TILE FLOOR FINISHES.
9. REMOVE ALL STEEL PIPE RAILING AT PORCH, PORCH STEPS AND RAMP.
10. REMOVE ENTIRE SHINGLE ROOF SYSTEM DOWN TO FLYWOOD SHEATHING SUBSTRATE.
11. REMOVE ALL BOD, SHRUBS AND WEEDS - DOWN TO CLEAN BARE TOPSOIL THROUGHOUT ENTIRE SITE.
12. REMOVE 6" (x) 2" (x) 11/4" 8' C.B.S. EXTERIOR ROOM/ENCLOSURE AT CENTER/NORTH SIDE OF BUILDING, COMPLETELY, DOWN TO 8"(MIN.) BELOW GRADE.
13. REMOVE EXISTING CONCRETE SLAB ON GRADE AT CENTER/NORTH SIDE OF BUILDING (APPROXIMATELY 24' (x) 4').
14. REMOVE EXISTING CONCRETE SLAB ON GRADE AT NORTH WEST CORNER OF PROPERTY (APPROXIMATELY 24' (x) 5').
15. REMOVE 4' CHAIN-LINK FENCE, INCLUDING CONCRETE POST FOUNDATIONS, AT NORTH AND EAST SIDES, ALONG THOSE PROPERTY LINES.



**ALLEGUEZ
ARCHITECTURE, INC.**

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
GARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 256-8997 FAX: (305) 254-4946

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:

Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

DEMOLITION
FLOOR PLAN

SEAL



DATE: APRIL 15th, 2015

REVISED:

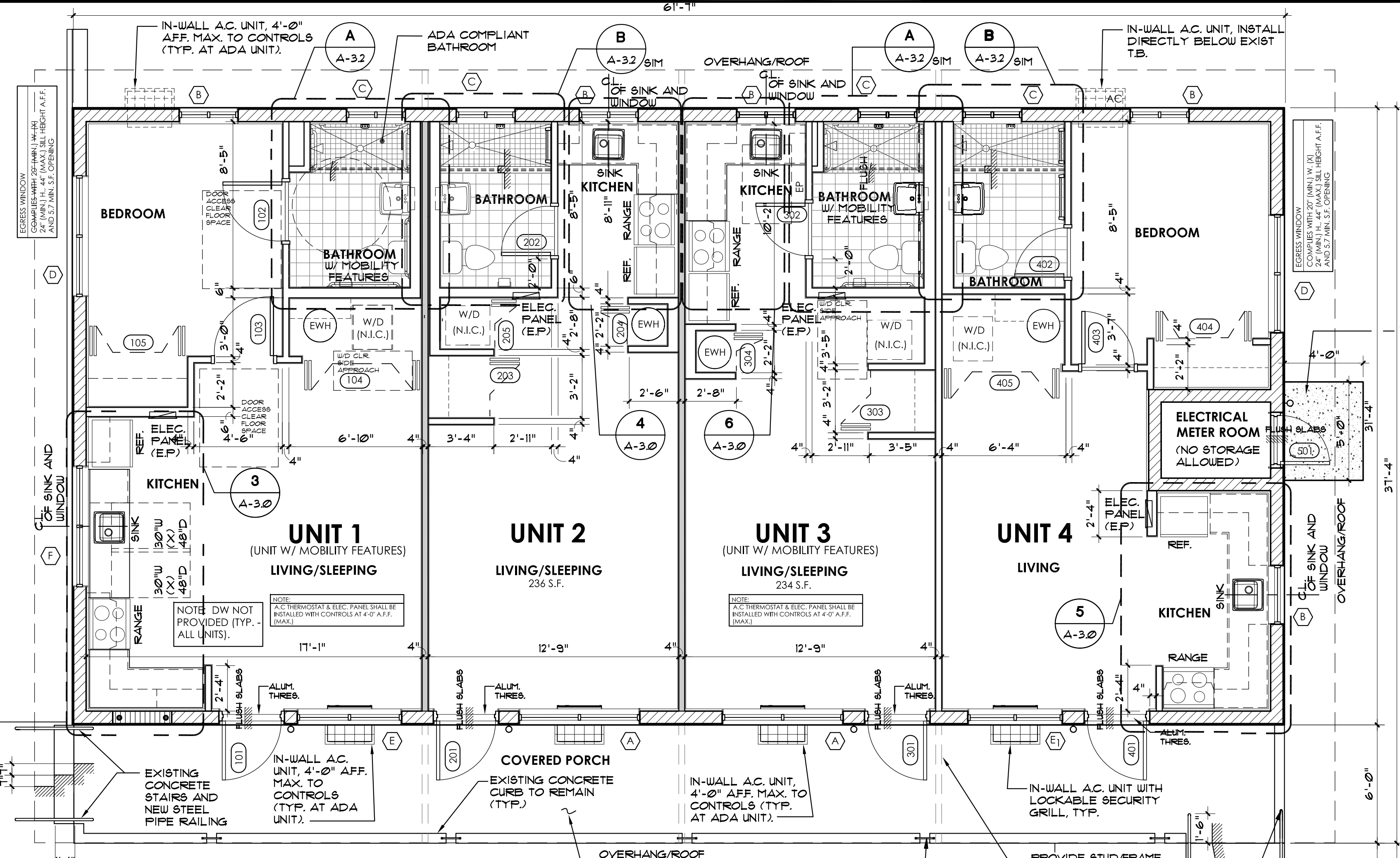
CAD DRAWING NAME:

1301 A-1.1.DWG

SHEET NO.

BID SET

A-1.1



FLOOR PLAN 1/4" = 1'-0"

GENERAL NOTES

- ALL EXISTING DIMENSIONS ARE DEPICTED WITHIN PARENTHESES. ALL EXISTING DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
- NEW DIMENSIONS ARE DEPICTED WITHOUT PARENTHESES AND ARE INTENDED TO BE FROM "ROUGH" TO "ROUGH" UNLESS OTHERWISE NOTED.
- ALL WINDOWS AND EXTERIOR DOORS ARE TO BE INSTALLED IN EXISTING MASONRY OPENINGS (M.O.). OPENINGS SHALL BE MODIFIED AS DICTATED BY NEW WINDOW DIMENSIONS AND LOCATIONS IN EXISTING MASONRY OPENINGS. ALL NEW WINDOWS SHALL BE INSTALLED DIRECTLY UNDER EXISTING LINTELS/BEAMS AT FORMER WINDOW/GLIDING DOOR HEADERS. REFER TO STRUCTURAL MASONRY TASKS ON SHEET A-3.1 FOR SPECIFIC STRUCTURAL REQUIREMENTS.
- PARTITION TYPE SYMBOLS ARE NOT "OUT" IN EVERY LOCATION AND ARE INTENDED TO IDENTIFY EACH PARTITION TYPE AS DETERMINED BY PARTITION USE AND/OR LOCATION.

PIPE RAILING NOTES

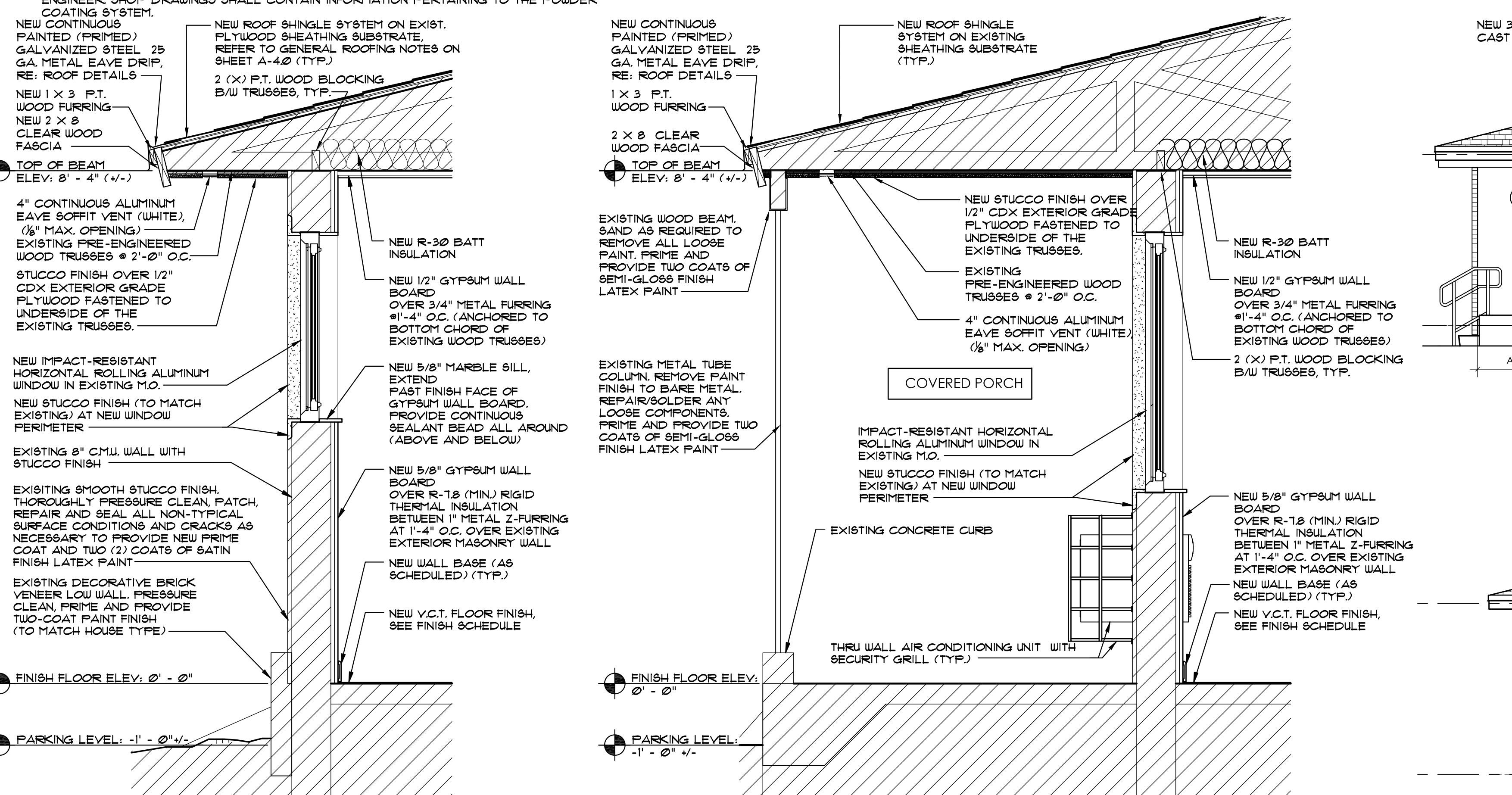
- POST AND RAILS SHALL BE 1/2" OUTSIDE DIAMETER, G-90 HOT-DIPPED GALVANIZED STEEL WITH 1/2" PICKETS SPACED TO REST AT 4" SPHERE.
- ALL WELDED JOINTS, GROUND SMOOTH.
- POSTS SHALL BE CORE DRILLED 1/4" (MIN) INTO EXISTING CONCRETE AND SET IN EPOXY. EXISTING FORMER POST HOLES SHALL BE FILLED SOLID WITH NON-SHRINK CONCRETE GROUT FLUSH WITH TOP OF EXISTING CONCRETE SURFACES. NEW POSTS SHALL BE PLACED A MINIMUM OF 3" FROM NEAREST FORMER POST HOLE AND A MINIMUM OF 3" (CLEAR) FROM EDGES.
- RAILING SECTIONS THAT TERMINATE AGAINST BUILDING WALL SHALL BE ANCHORED TO THE WALL WITH EXPANSION ANCHORS THRU PIPE END FLANGES. AT A MIN. ANCHORS SHALL BE SET INTO NEW SOLID CONC. GROUT FILLED (EXIST.) CMU CELLS OR INTO EXIST. CONC. COLUMN.
- PROVIDE FLOORING FINISH OVER CONCRETE FINISH (SUBMIT DURABLE COLOR CHART OR APPROVED EQUIVALENT).
- PRIOR TO MANUFACTURING, SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT. PROVIDE CALCULATIONS SIGNED AND SEALED BY A LICENSED FLORIDA ENGINEER. SHOP DRAWINGS SHALL CONTAIN INFORMATION PERTAINING TO THE FLOORING COATING SYSTEM.

CLOSET NOTES:

- PROVIDE ONE (1) WHITE VINYL CLAD, 12" WIRE SHELVING WITH INTEGRAL CLOTHES ROD IN EACH CLOSET UNLESS OTHERWISE NOTED.
- PROVIDE FOUR (4) STANDARD (NON-CLOTHES ROD TYPE) WHITE VINYL, 12" WIRE SHELVING IN UNIT 4 CLOSET DOOR 409 (IN ONE SIDE OF CLOSET).

DOOR BELL:

- PROVIDE WIRELESS DOOR BELL SYSTEM IN EACH UNIT. SYSTEM SHALL INCLUDE ONE RECEIVER IN EFFICIENCY UNIT(S) PLUS ONE RECEIVER PER BEDROOM IN OTHER UNITS.
- REVISIONS SHALL BE PLACED INTO CONVENIENCE RECEPTACLE OUTLETS AT 4'-0" AFF. WHICH SHALL BE PLACED NEXT TO ENTRY DOOR INTO EACH LIVING UNIT AND/OR BEDROOM. DOOR BELL PUSH BUTTON SHALL BE PLACED ON WALL NEXT TO DOOR LATCH, AT 4'-0" O.C.
- SYSTEM SHALL BE "NO TONE" MODEL LA204RH PLUS-IN DOOR CHIME WITH VOLUME CONTROL FOR AUDIBLE SIGNAL AND WITH FLASHING STROBE OR APPROVED EQUIVALENT.



WALL SECTION 3/4" = 1'-0"

WALL SECTION PORCH 3/4" = 1'-0"

- NOTES:
- REFER TO WALL SECTION "A" FOR TYPICAL NOTES
 - ALL EXISTING PORCH ROOF STEEL SUPPORT COMPONENT (BRACKETS/LEDGES) SHALL BE GROUND/BANDED SMOOTH TO BARE METAL AND PRIMES AND PAINTED WITH TWO COATS OF SEMI-GLOSS FINISH ALKYL'D PAINT.

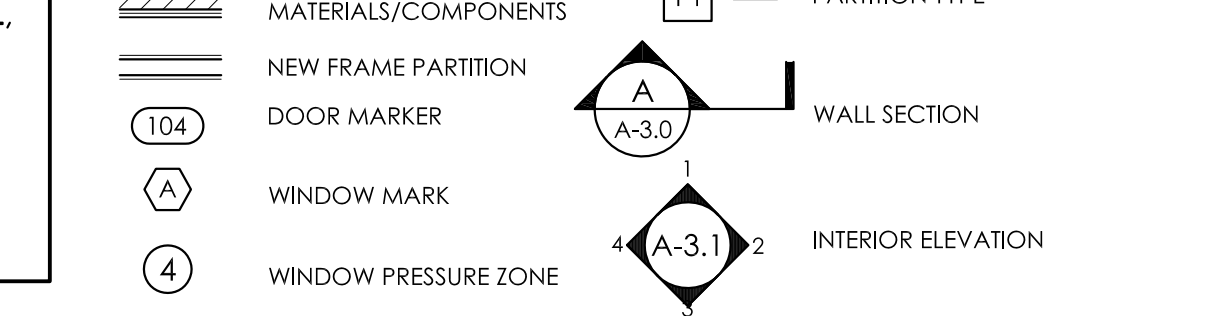
COMPONENT AND CLADDING WIND PRESSURES

ZONES	10	20	50	100	200	500
ROOF	(1) -37/24	-34/22	-35/19	-34/17	-34/17	-34/17
(2)	-44/24	-59/22	-52/19	-47/17	-47/17	-47/17
(3)	-95/24	-89/22	-81/19	-47/17	-47/17	-47/17
OVER-HANG	(2) -81	-81	-81	-81	-81	-81
(3)	-132	-120	-104	-91	-91	-91
WALL	(4) -44/41	-42/39	-40/36	-38/35	-36/33	-34/30
(5)	-54/41	-51/39	-46/36	-42/35	-39/33	-34/30

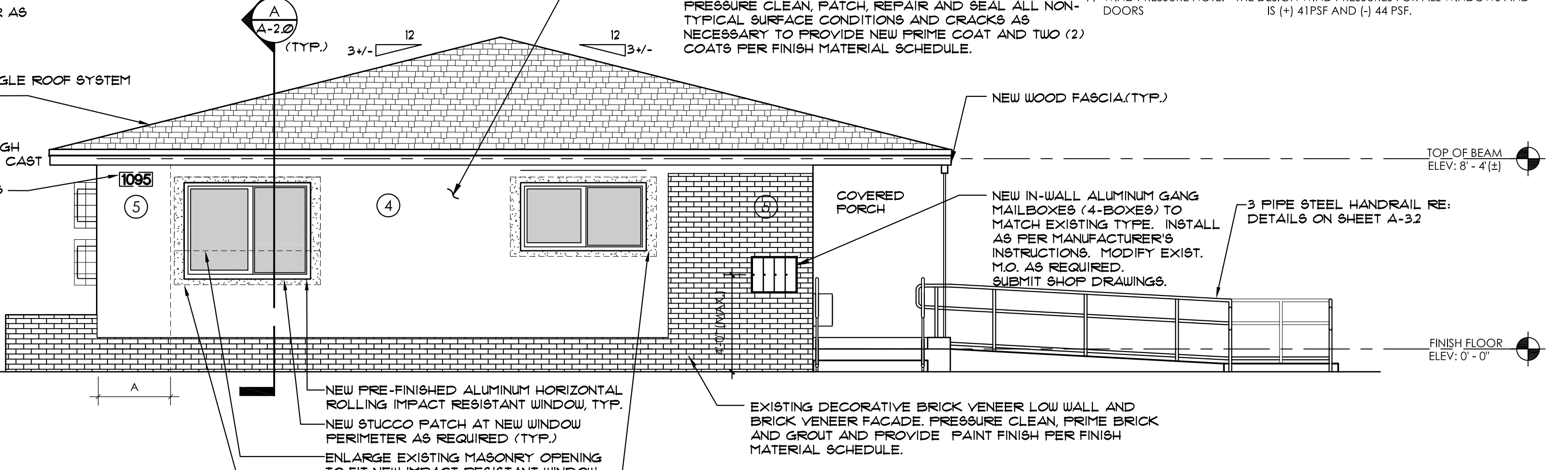
FHA GUIDELINES

- ALL DWELLING UNITS SHALL COMPLY WITH THE FOLLOWING ITEMS:
- BUILDING ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE.
 - PUBLIC AND COMMON USE AREAS SHALL BE ACCESSIBLE.
 - ALL DOORS WITHIN EACH UNIT SHALL COMPLY WITH ACCESSIBILITY.
 - ALL UNITS SHALL PROVIDE ACCESSIBLE ROUTE INTO AND THROUGH THE DWELLING UNITS.
 - LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED AT 48" MAXIMUM AFF.
 - ELECTRICAL OUTLETS SHALL BE LOCATED AT 18" MIN. AFF.
 - REINFORCE BATHROOM WALL AREAS FOR FUTURE INSTALLATION OF GRAB BARS AROUND TOILETS AND SHOWERS AND BATHTUBS. GC TO PROVIDE RECORD DRAWINGS INDICATING WHERE REINFORCEMENT HAS BEEN LOCATED.
 - KITCHENS AND BATHROOMS SHALL PROVIDE WHEELCHAIR MANEUVERABILITY.

SYMBOL LEGEND:

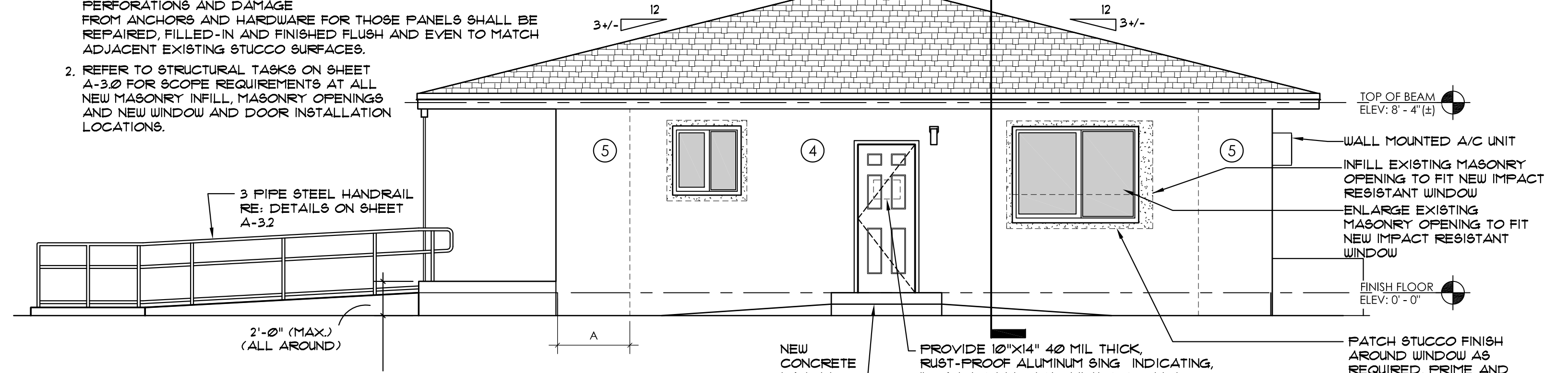


- NOTE:
- REFER TO STRUCTURAL TASKS ON SHEET A-3.0 FOR SCOPE REQUIREMENTS AT ALL NEW MASONRY INFILL, MASONRY OPENINGS AND NEW WINDOW AND DOOR INSTALLATION LOCATIONS.
 - STUCCO (NEW & EXISTING) WOOD FASCIA METAL DRIP EDGE AND SOFFITS SHALL BE PRIMED AND PAINTED. REFER TO FINISH MATERIAL NOTES. EXISTING SURFACE SHALL BE THOROUGHLY CLEANED / PRESSURE WASH PRIOR TO PAINTING.



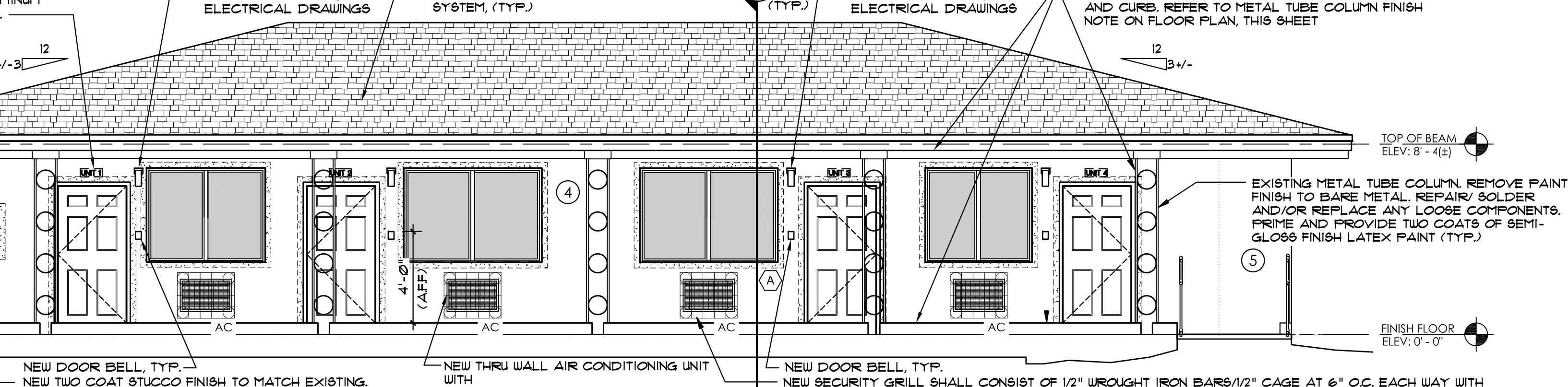
WEST ELEVATION 1/4" = 1'-0"

- NOTES:
- ALL EXISTING BUILDING FENESTRATIONS (WINDOWS AND DOORS) ARE CURRENTLY BOARDED SHUT WITH PLYWOOD SHEETS (AND/OR CORRUGATED METAL PANELS). THE CONTRACTOR SHALL REMOVE ALL SUCH MATERIALS AND DISCARD. ALL RESULTING PENETRATIONS AND DAMAGES FROM ANCHORS AND HARDWARE FOR THOSE PANELS SHALL BE REPAIRED, FILLED-IN AND FINISHED FLUSH AND EVEN TO MATCH ADJACENT EXISTING STUCCO SURFACES.
 - REFER TO STRUCTURAL TASKS ON SHEET A-3.0 FOR SCOPE REQUIREMENTS AT ALL NEW MASONRY INFILL, MASONRY OPENINGS AND NEW WINDOW AND DOOR INSTALLATION LOCATIONS.



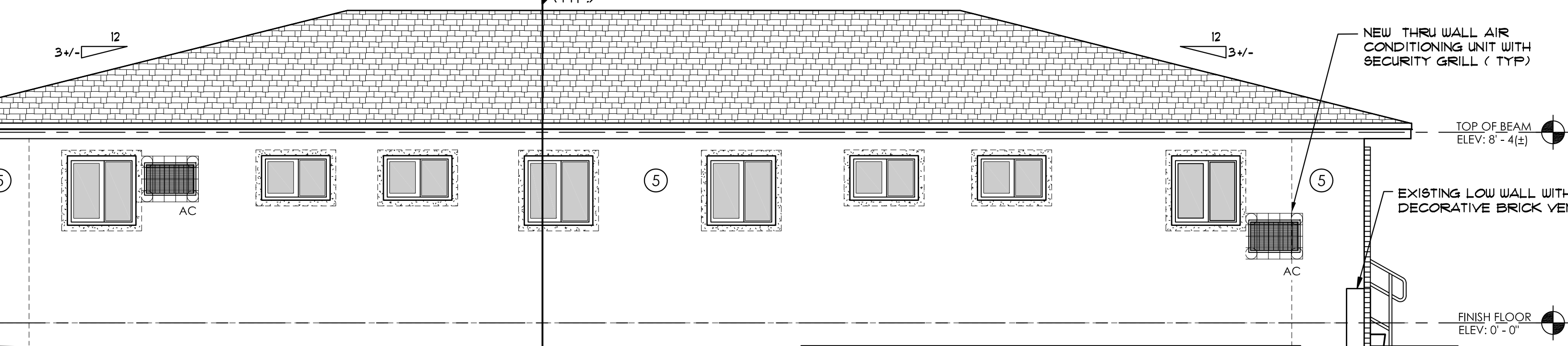
EAST ELEVATION 1/4" = 1'-0"

- NOTES:
- REFER TO EAST ELEVATION FOR TYPICAL NOTES.



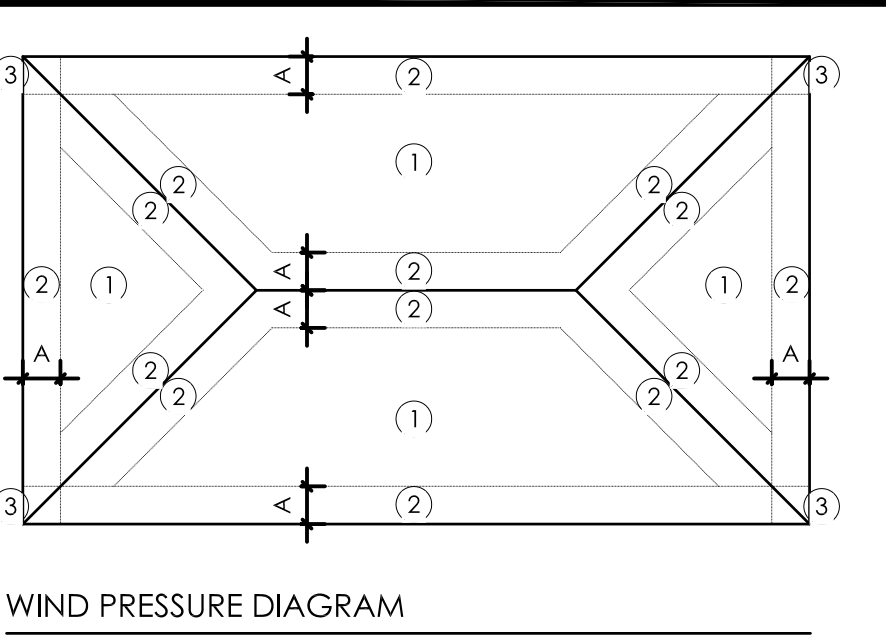
SOUTH ELEVATION 1/4" = 1'-0"

- NOTES:
- REFER TO EAST ELEVATION FOR TYPICAL NOTES.



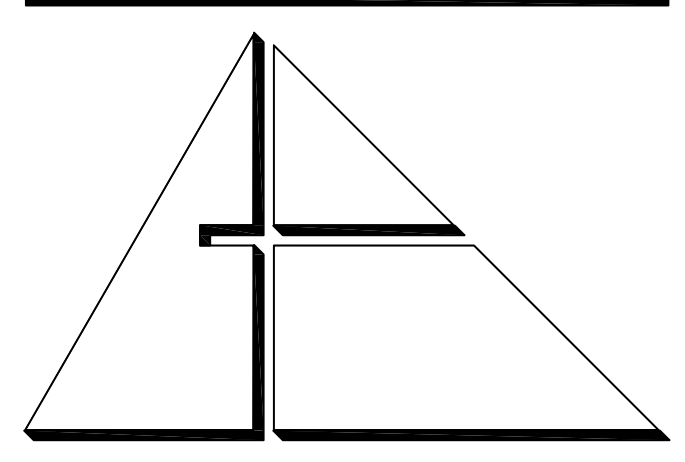
NORTH ELEVATION 1/4" = 1'-0"

- NOTES:
- REFER TO EAST ELEVATION FOR TYPICAL NOTES



WIND PRESSURE NOTES

- NUMBERS ON THIS SHEET ARE THE COMPONENTS AND CLADDING GROSS UNFACTORED SERVICE PRESSURES PERPENDICULAR TO THE SURFACE (IN P.S.F.) BASED ON TRIBUTARY AREA. MULTIPLY SERVICE PRESSURES BY 1.6 TO OBTAIN WIND PRESSURES FOR FACTORED LOADS USING STRENGTH DESIGN (ASCE 7-10 2.3).
- PRESSURES ARE DERIVED FROM ASCE 7-10.
- DIRECTIONALITY FACTOR K_d = .85
- THE VALUE OF 'A' EQUALS 3'-2"
- NEGATIVE PRESSURES ACT AWAY FROM SURFACE. POSITIVE PRESSURES ACT TOWARD SURFACE.
- OVERHANG PRESSURES ARE RESULTANT PRESSURES FROM ROOF AND SOFFIT FORCES ACTING AWAY FROM THE ROOF SURFACE. PRESSURES ARE TO BE APPLIED TO COMPONENTS WHICH SEE LOAD FROM EACH CASE, SUCH AS A TRUSS OVERHANG.
- WIND PRESSURE NOTE: THE DESIGN WIND PRESSURES FOR ALL WINDOWS AND DOORS IS (+) 41PSF AND (-) 44 PSF.



ALLEGUEZ ARCHITECTURE, INC.
ARCHITECTURE PLANNING
INTERIOR DESIGN

CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 461 4001 (FAX) 461 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:
MECHANICAL ELECTRICAL PLUMBING ENGINEER:
GARTER ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 266-8997 FAX: (305) 264-9496

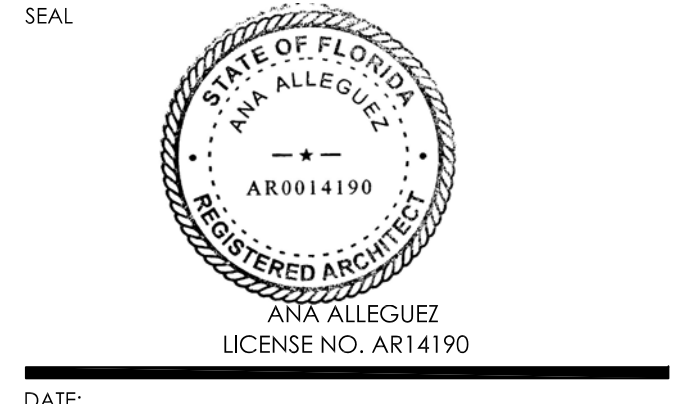
CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:
FLOOR PLAN, ELEVATIONS, & WALL SECTIONS

DATE:
APRIL 15TH, 2015

REVISIONS:
CAD DRAWING NAME:
1301 A-2.0.DWG

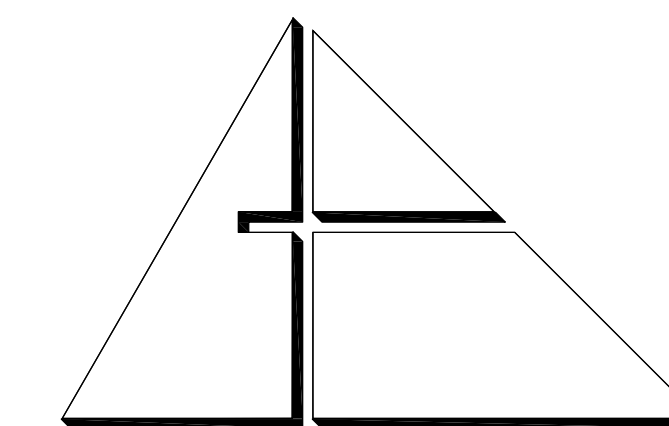


SHEET NO.

LIFE SAFETY COMPLIANCE STATEMENTS:

- CLASS OF REHABILITATION CONFORMS WITH 4322.12 RENOVATION.
- ALL UNITS SHALL BE COMPLETELY VACANT & UNOCCUPIED DURING ALL PHASES OF CONSTRUCTION AND UNTIL CERTIFICATE OF OCCUPANCY IS OBTAINED.
- UNITS SHALL REMAIN VACANT & UNOCCUPIED UNTIL FIRE RATED PARTITIONS HAVE BEEN FULLY ERRECTED AND FINISHED. UNITS SHALL REMAIN VACANT AND UNOCCUPIED UNTIL AFTER CERTIFICATE OF OCCUPANCY IS OBTAINED.
- EMERGENCY ESCAPE IS COMPLIANT PER NFPA 312.2.4 312.1.3
- ALL RESIDENTIAL UNITS COMPLY WITH THE EMERGENCY ESCAPE REQUIREMENTS OF NFPA 101.

A-2.0



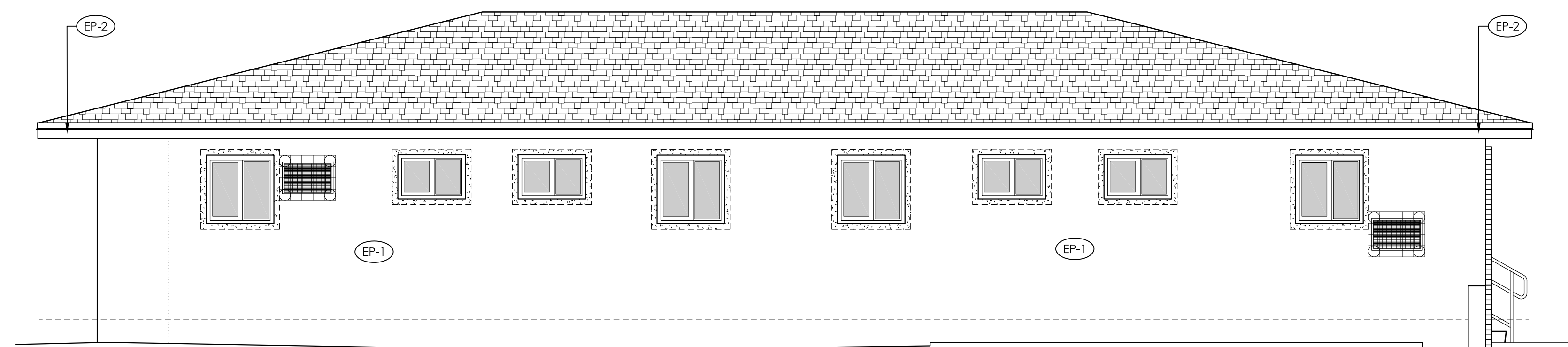
ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

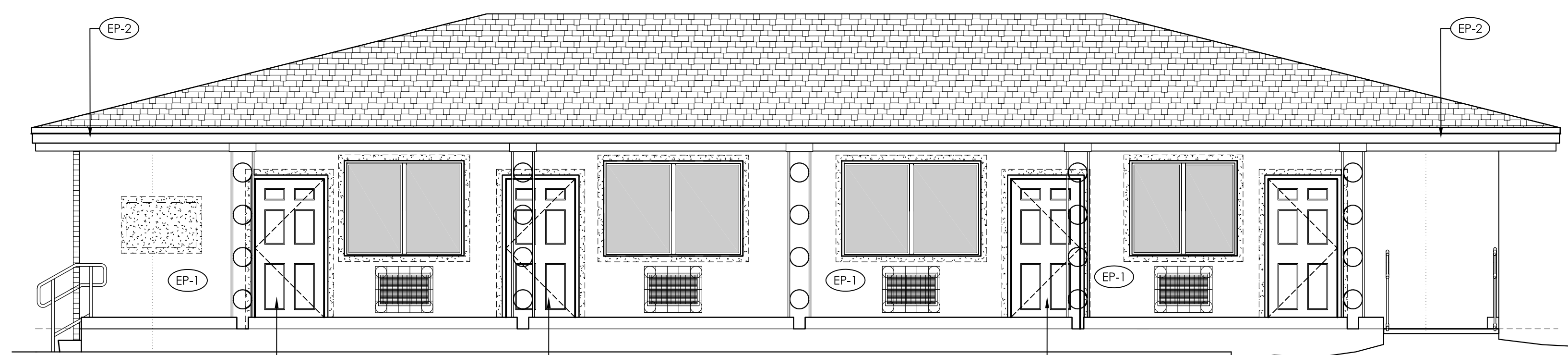
901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 461 4001 (FAX) 461 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:

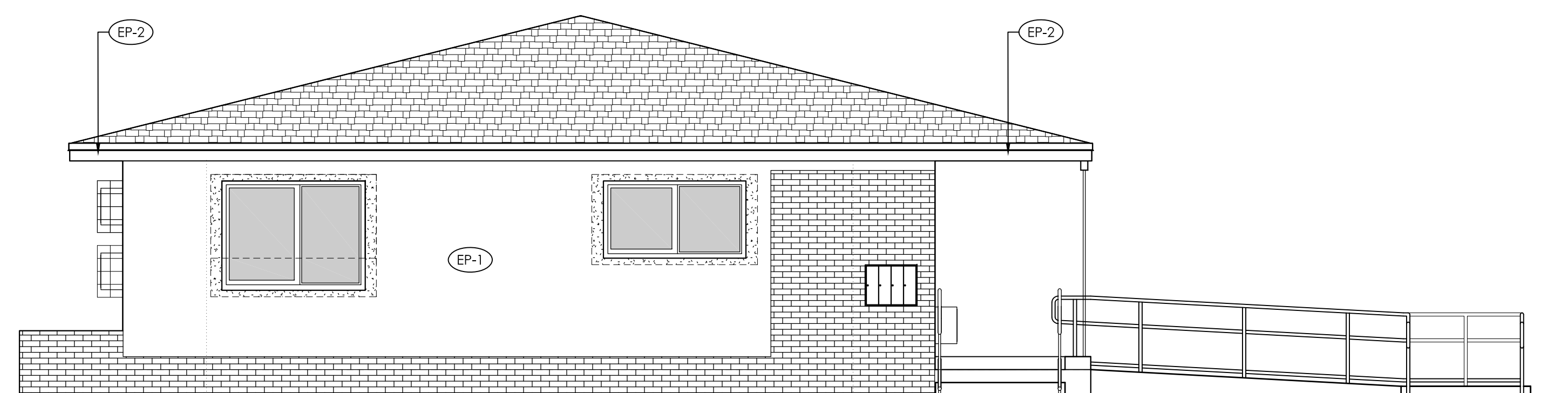
MECHANICAL ELECTRICAL PLUMBING ENGINEER:
CARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 256-8977 FAX: (305) 254-4976



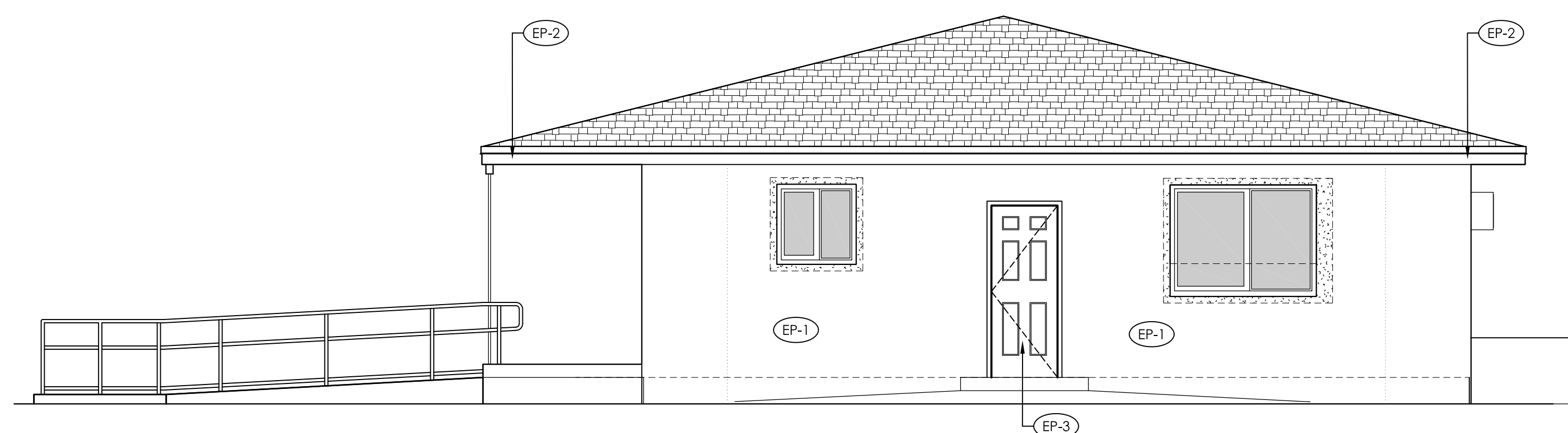
NORTH ELEVATION $1/4" = 1'-0"$



SOUTH ELEVATION $1/4" = 1'-0"$



EAST ELEVATION $1/4" = 1'-0"$



WEST ELEVATION $1/4" = 1'-0"$

SYMBOL LEGEND

(EP-1) DENOTES PAINT COLOR

EXTERIOR FINISHES SCHEDULE

MARK	COLOR	REMARKS
(EP-1)	SLEEPY BLUE SW 6225	FIELD COLOR
(EP-2)	EXTRA WHITE SW 1006	FABRICA AND SOFFIT
(EP-3)	EXTRA WHITE SW 1006	DOORS

NOTES :

- PROVIDE MOCKUP PAINT SAMPLES 4' X 4' SQUARE FOR EACH COLOR OF PAINT TO BE APPROVED BY OWNER.
 - DO NOT PAINT OVER CODE-REQUIRED LABELS SUCH AS UNDERWRITERS LABORATORIES (UL) AND FACTORY MUTUAL (FM), NAME EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, OR NOMENCLATURE PLATES.
 - PAINT WARRANTY: SIX (6) YEARS WARRANTY FOR LABOR AND MATERIAL FROM THE PAINT MANUFACTURER.
 - SHOP DRAWING SUBMITTAL:
 - SUBMIT MANUFACTURER PRODUCT SAFETY DATA, MANUFACTURER'S TECHNICAL INFORMATION, INCLUDING PAINT LABEL ANALYSIS AND APPLICATION INSTRUCTIONS FOR EACH MATERIAL PROPOSED FOR USE.
 - SAMPLES: PROVIDE COLOR CHIPS FOR REVIEW BY ARCHITECT.
 - SUBMIT PAINT MANUFACTURER'S PROPOSED 6 YEAR WARRANTY DOCUMENT.
 - PHASE PROJECT TO ALLOW A MINIMUM OF 28 DAYS FOR STUCCO AND PLASTER TO CURE PROPERLY. IF PAINTING BEGINS BEFORE THE 28 DAY CURING PERIOD, THEN A MOISTURE AND PH TEST SHALL BE MADE ACCORDING TO ASTM D4262 AND ASTM D4268.
 - DO NOT PAINT OVER FACTORY-FINISHED OR INSTALLER-FINISHED SPECIFIED ITEMS, CONCEALED SURFACES, FINISHED METAL MATERIAL (SUCH AS ANODIZED ALUMINUM, STAINLESS STEEL, BARE COPPER, BARE BRONZE AND METALS OF SIMILAR FINISH), OPERATING PARTS AND CODE REQUIRED LABELS.
1. BASIS OF DESIGN IS SHERWIN WILLIAMS OR APPROVED EQUIVALENT. REFER TO FINISH MATERIAL NOTES ON SHEET A-31 FOR PAINT SPECIFICATIONS.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

EXTERIOR
FINISHES

SEAL



DATE:

APRIL 15th, 2015

REVISED:

CAD DRAWING NAME:

1301 A-2.1.DWG

SHEET NO.

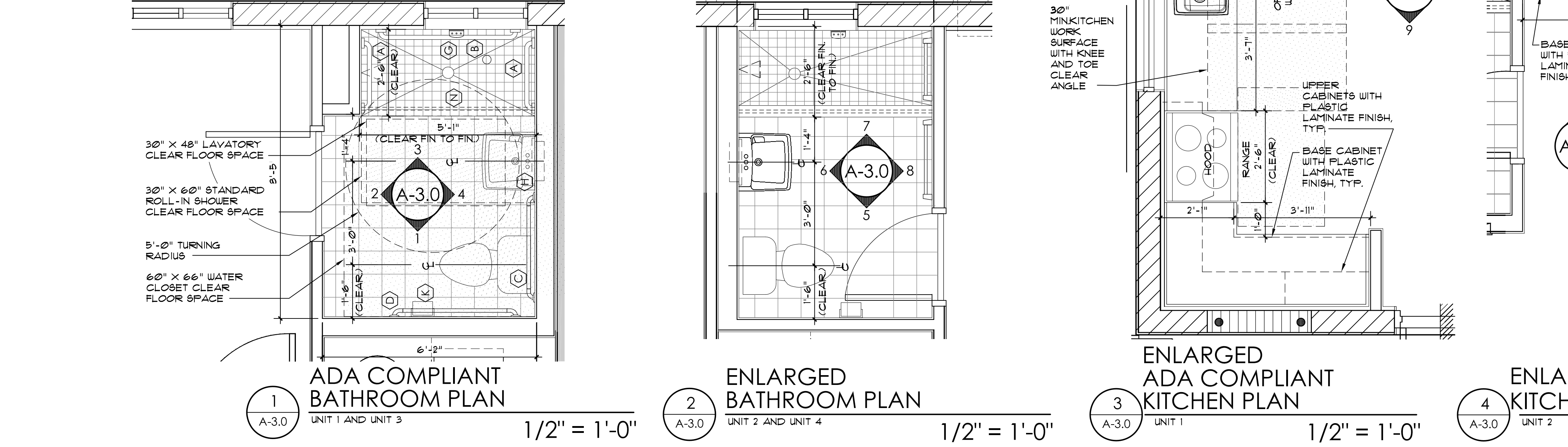
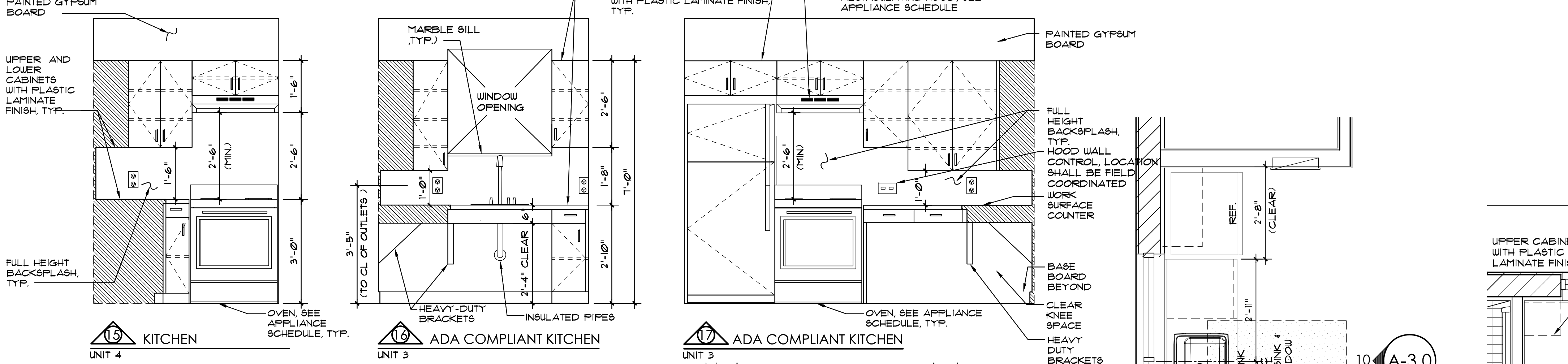
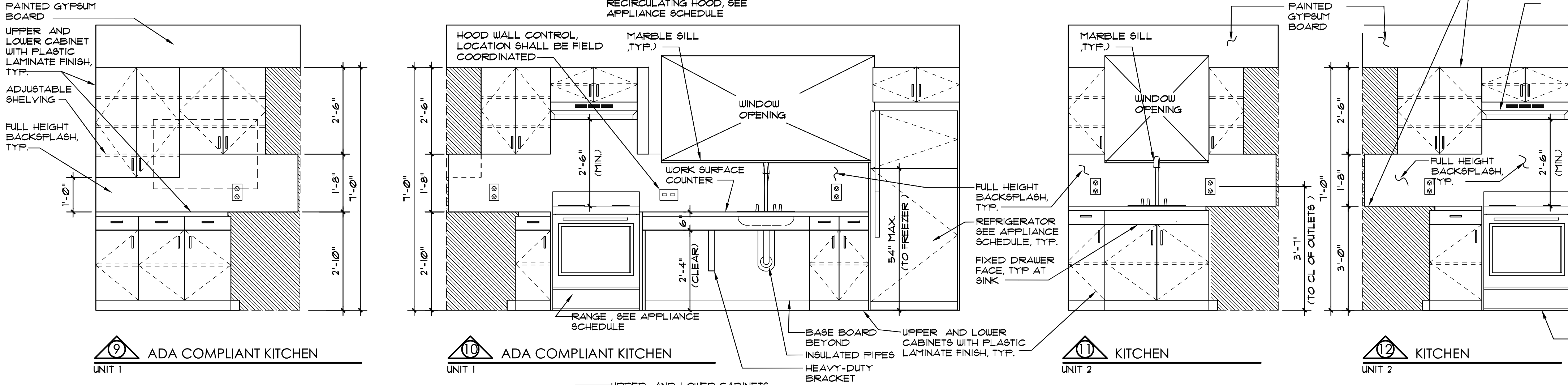
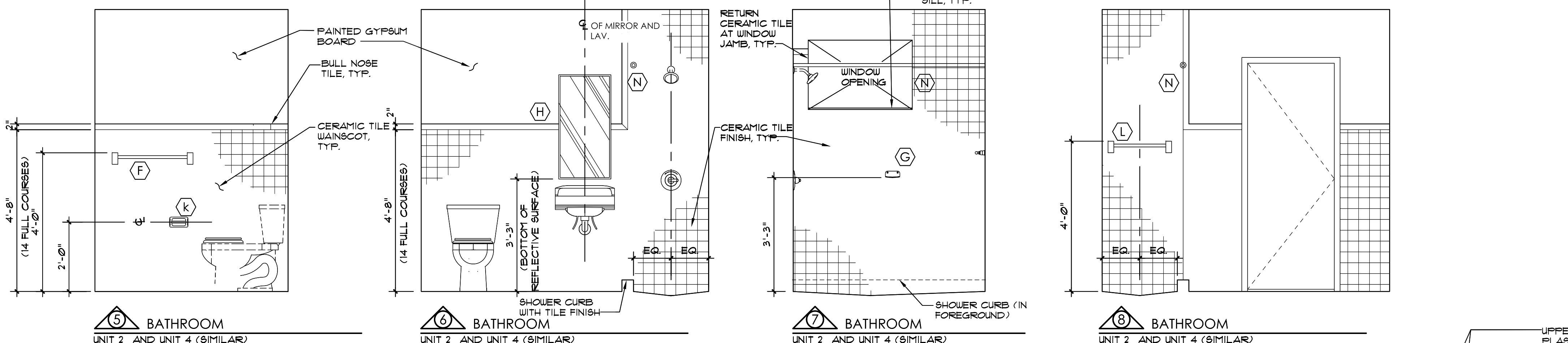
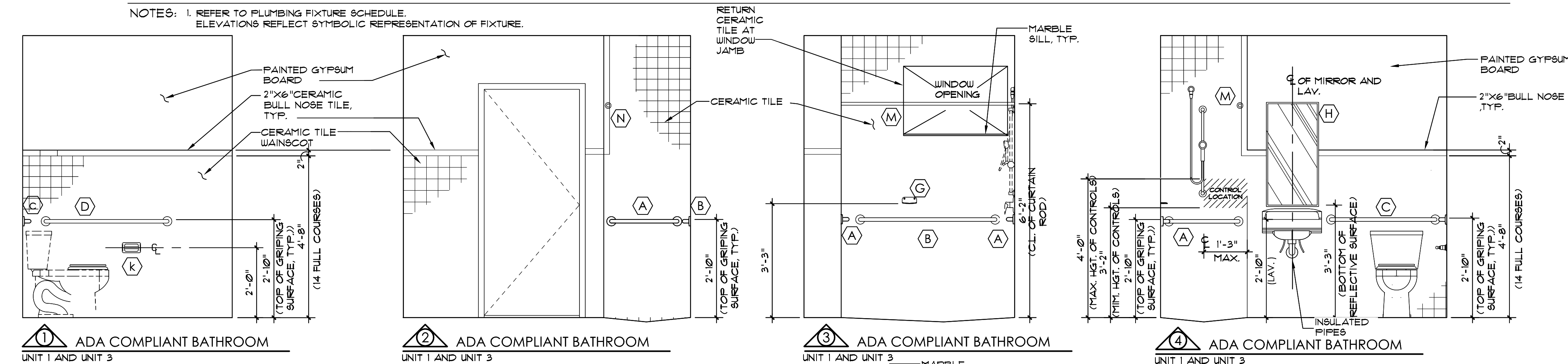
BID SET

A-2.1

INTERIOR ELEVATIONS

1/2" = 1'-0"

NOTES: 1. REFER TO PLUMBING FIXTURE SCHEDULE. ELEVATIONS REFLECT SYMBOLIC REPRESENTATION OF FIXTURE.



KITCHEN APPLIANCE SCHEDULE

ITEM	MANUFACTURER	MODEL	REMARKS
NON-VENTED STANDARD RANGE HOOD	GENERAL ELECTRIC	JN321HW	COLOR: WHITE LOCATION: UNITS 2 AND 4
NON-VENTED STANDARD ADA COMPLIANT RANGE HOOD	AIR KING	ES-ADA SERIES	ADA COMPLIANT WITH INTEGRAL REMOTE OPERATION WALL MOUNTED SWITCH. LOCATION: UNITS 1 AND 3
FREE-STANDING ELECTRIC RANGE W/ STANDARD CLEAN OVEN	GENERAL ELECTRIC	JE450DFWJ	COLOR: WHITE ON WHITE SIZE: 41" HIGH X 30" WIDE X 28-3/4" DEEP (ADA COMPLIANT) LOCATION: ALL UNITS
TOP-FREEZER REFRIGERATOR	GENERAL ELECTRIC	GTH18DUW	COLOR: WHITE SIZE: 66-5/8" HIGH X 29-1/2" WIDE X 32-1/8" DEEP (ADA COMPLIANT) 18.0 CU. EDUCATION: ALL UNITS

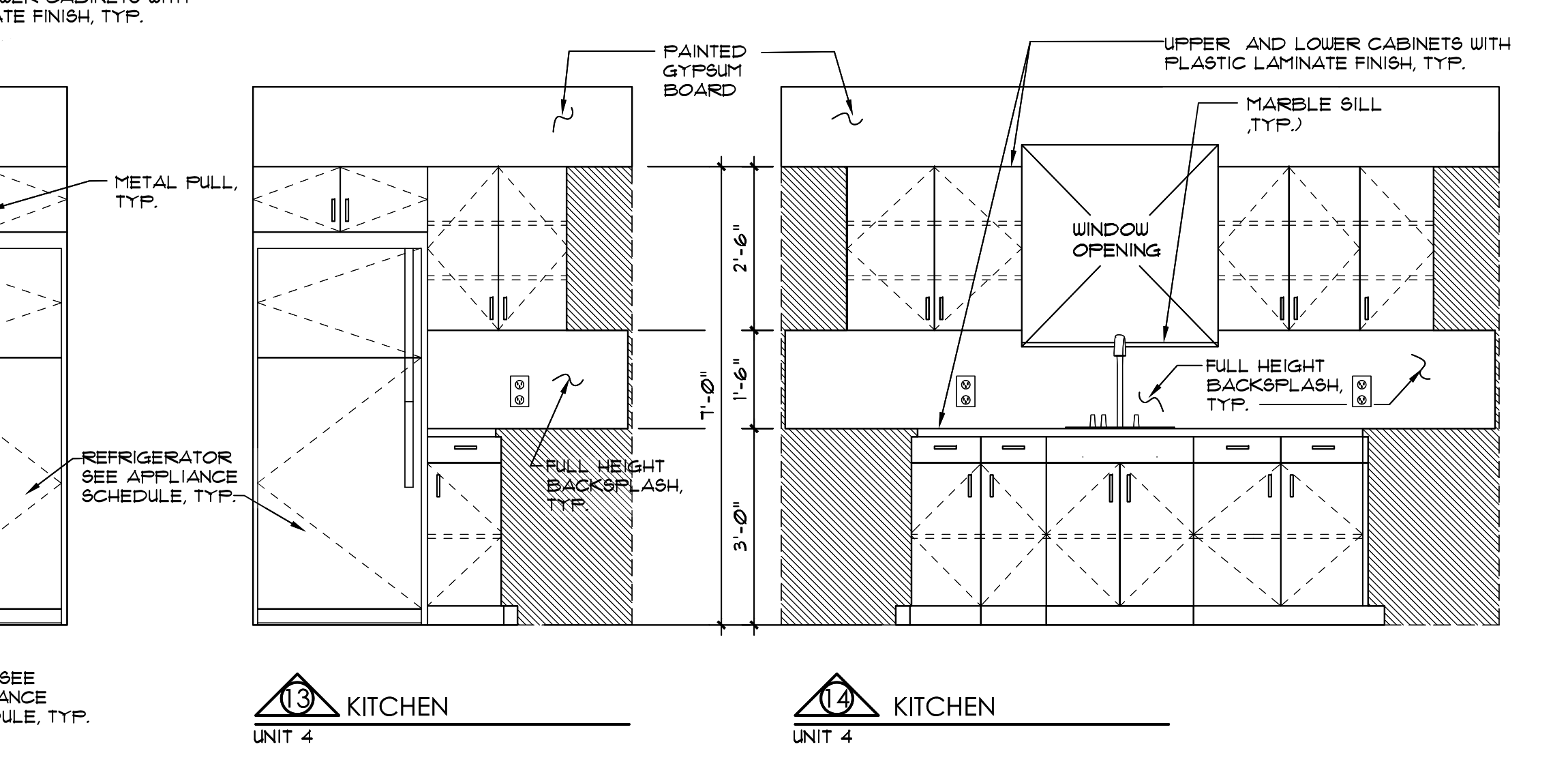
NOTES: 1. SUBMIT SHOP DRAWINGS. 2. ALL APPLIANCES SHALL BE PURCHASED AND INSTALLED BY THE GENERAL CONTRACTOR.

ADA BATHROOM SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
A	24" Stainless Steel Grab Bar	BOBRICK	B-5806 x 24	
B	48" Stainless Steel Grab Bar	BOBRICK	B-5806 x 48	
C	36" Stainless Steel Grab Bar	BOBRICK	B-5806 x 36	
D	42" Stainless Steel Grab Bar	BOBRICK	B-5806 x 42	
E	24" Ceramic Towel Bar	DALTILE	BAT30	
F	Ceramic Soap Dish	DALTILE	BAT29	
G	Recessed Stainless Steel Medicine Cabinet w/ Mirror	BOBRICK	B-397	18"x36" ADA COMPLIANT
H	Ceramic Toilet Paper Holder	DALTILE	BAT11	
K	18" Ceramic Towel Bar	DALTILE	BAT30	
L	SHOWER CURTAIN ROD W/ CONCEALED MOUNTING	BOBRICK	B-201 x 60	ELASTIC BAR TO BE RESIZED TO FIT WITHIN REQUIRED SPACE. CUT ROD TO FIT OPENING
M	SHOWER CURTAIN ROD W/ CONCEALED MOUNTING	BOBRICK	B-201 x 12	CUT ROD TO FIT OPENING
O	NOT USE	-	-	
P	COLLAPSIBLE WATER DAM	KR SPECIALTIES	CUR - 66	COLOR: WHITE / CUT BARRIER FREE DAM AS REQUIRED TO FIT OPENING

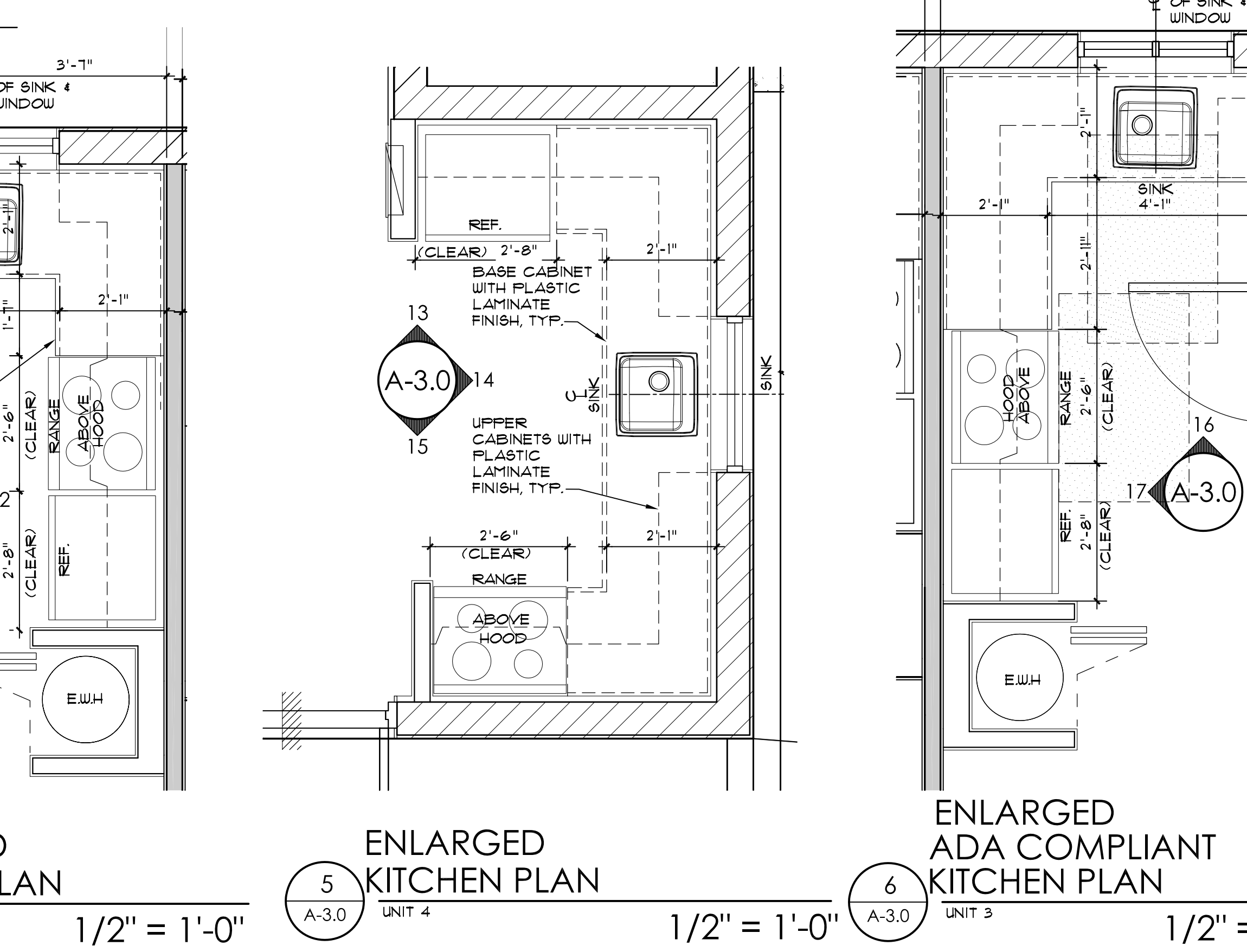
GENERAL BATHROOM NOTES:

1. PROVIDE IN-PARTITION 6" X 18 GAUGE GALVANIZED STEEL BACKER PLATE FOR ALL ACCESSORIES ANCHOR POINTS. PLATES SHALL SPAN BETWEEN TWO (2) STUDS, MIN.
2. PROVIDE 3/8" X 6" FT. BACKER PLATES SPANNING 3 STUDS AT SHOWER SEAT ANCHOR INSTALLATION POINTS. METAL STUDS AT SHOWER SEAT SHALL BE REINFORCED WITH INTEGRAL 2 (X) 4 FT. STUDS.
3. AT STANDARD (NON ADA) SHOWERS PROVIDE 4" (X) 4" POURED IN-PLACE CONC. CURB REIN. W/ (1) #3 CONT. STL. BAR. ROUGHEN EXIST. CONC. SLAB FLOOR SURFACE AREA 4" TO RECEIVE CURB AND APPLY BONDING AGENT. SHOWER CURB SHALL BE SIZED TO ALLOW FOR THE INSTALLATION OF 4" FULL (UNITS) CERAMIC TILES AT BOTH SIDES AND TOP.
4. AT ALL SHOWER COMPARTMENTS PROVIDE FULL WALL HEIGHT INSTALLATION OF 4" (X) 4" CERAMIC TILES TO 1'-0" AFF. PROVIDE 48-MIL. PVC SHOWER PAN MEMBRANE AT ALL SHOWERS. EDGES SHALL EXTEND 6" VERTICALLY AT WALLS AND OVERLAY CONCRETE CURB TO TOP 'OUTSIDE' EDGES.
5. ALL BATHROOMS SHALL BE PROVIDED WITH TOILET SEAT, SHOWER CURTAIN, ROD AND HOOKS AND WATER CLOSET SEAT - AS MFR'D. BY BOBRICK. ADA SHOWERS SHALL BE PROVIDED BY COLLAPSIBLE WATER DAM AS MFR'D. BY BARRIER FREE ARCHITECTURALS, INC.
6. SUBMIT SHOP DRAWINGS



GENERAL CABINET NOTES

1. UPPER AND LOWER CABINETS SHALL BE CONSTRUCTED OF 3/4" PLYWOOD INCLUDING DOORS, DRAWER FRONTS AND SHELVES, DRAWER SIDES, BACKS AND BOTTOM SHALL BE 1/2" PLYWOOD, CABINET BACKS SHALL BE 1/4"
2. ALL CABINETS AND SHELVING SHALL HAVE PLASTIC LAMINATE FINISH ON ALL EXPOSED WOOD SURFACES.
3. FULLS FOR BASE AND WALL CABINETS SHALL BE 3/16" X 4" LONG STAINLESS STEEL WIRE FULLS WITH SATIN FINISH.
4. ALL HINGES FOR NEW CABINETS SHALL BE CONCEALED FULL OVERLAY, CUP, FREE SWING TYPE HINGES. FOR AMOUNT OF HINGES PER DOOR FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. ALL SHELVES INSIDE CABINETS SHALL BE ADJUSTABLE AND MOUNTED ON ALUMINUM SHELF SUPPORTS/STANDARDS (TYPICAL OF 4 PER SHELF). PROVIDE IN-PARTITION SUPPORTS FOR CABINET AND COUNTERTOP INSTALLATION AS REQUIRED.
6. ALL FINISH MATERIAL COLORS SHALL BE SELECTED BY THE ARCHITECT.
7. PROVIDE EDGE BANDS ON ALL PLYWOOD SHELVES.
8. PROVIDE SHOP DRAWINGS BEFORE MANUFACTURING AND INSTALLATION OF BUILT-INS.

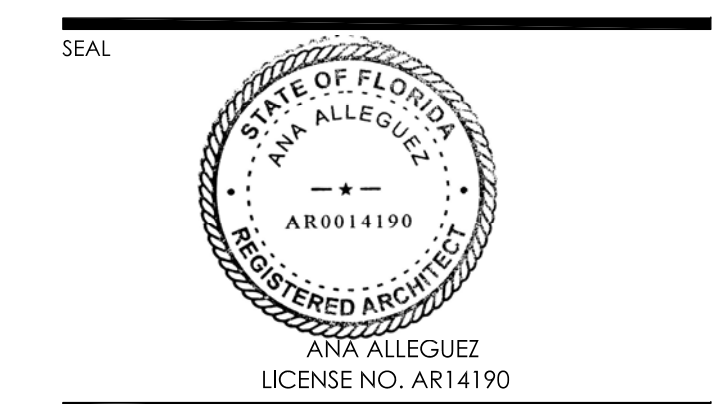


ALLEGUEZ ARCHITECTURE, INC.
ARCHITECTURE PLANNING INTERIOR DESIGN CONSTRUCTION MANAGEMENT
901 PONCE DE LEON BLVD., SUITE 202 CORAL GABLES, FLORIDA 33134 (305) 481 4001 (FAX) 481 6002 E-MAIL alleguez@bellsouth.net ■ AA C 0 0 2 7 4 8 ■

CONSULTANTS:
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
GARTK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE MIAMI, FLORIDA 33155 TEL: (305) 356-8997 FAX: (305) 254-6496

PROJECT:
CITY OF MIAMI LIFE QUEST RENOVATIONS 1301 N.E. 111 ST.
Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

INTERIOR ELEVATIONS



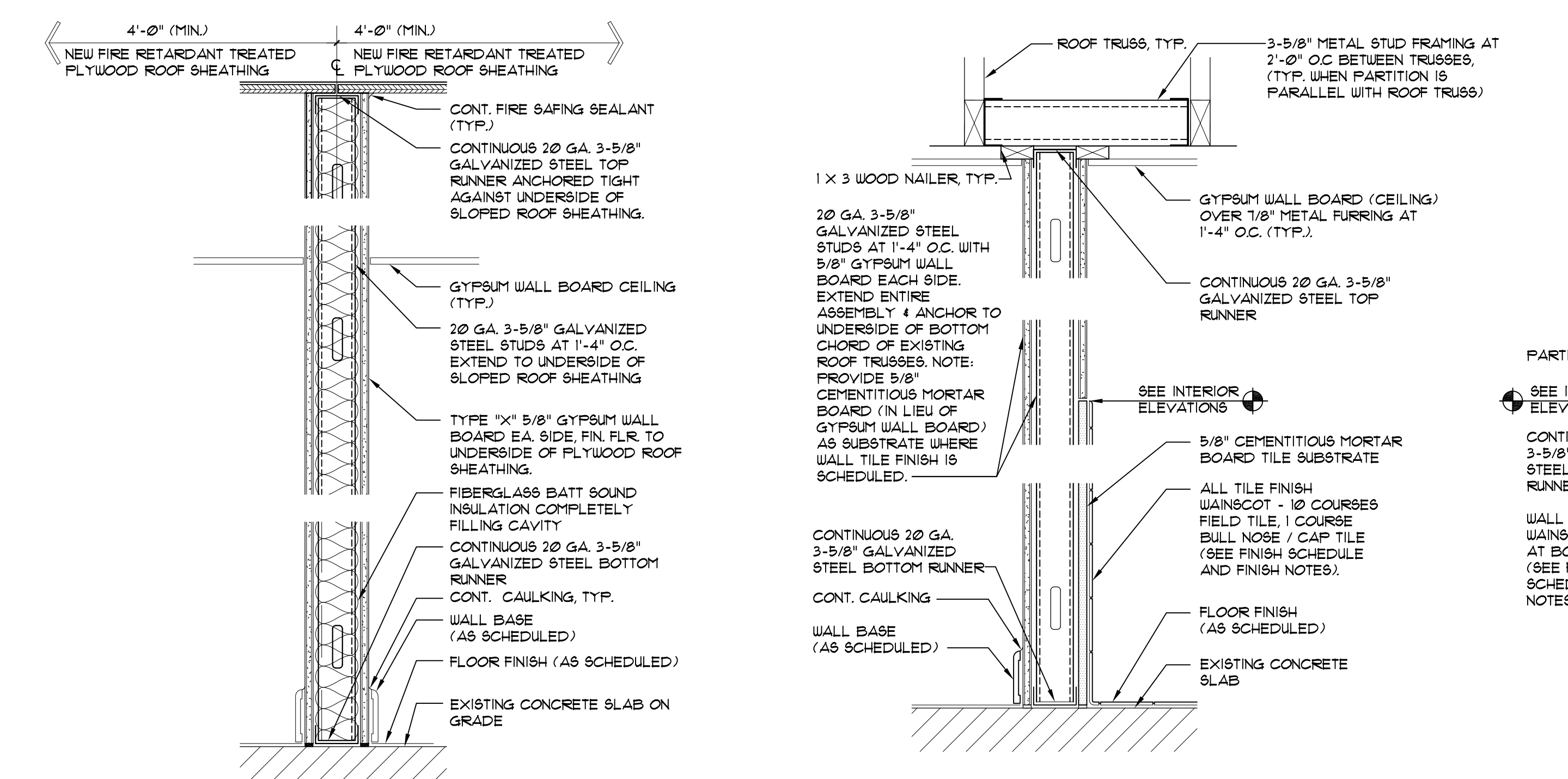
DATE: APRIL 15th, 2015
REVISED:

CAD DRAWING NAME:
1301 A-3.0.DWG
SHEET NO.

BID SET
A-3.0

PARTITION TYPES

- 1. PROVIDE 3-5/8" METAL STUD BRACING TO A MINIMUM OF TWO ROOF TRUSSES (TRUSS BOTTOM CHORD, EACH SIDE OF PARTITION) - WHERE TRUSSES RUN PARALLEL TO THE PARTITION (EXCLUDES P1).
- 2. PROVIDE IN-PARTITION 6" (X) 18 GAUGE GALVANIZED STEEL BACKER PLATES SPANNING A MINIMUM OF TWO STUDS, AT ALL WALL MOUNTED ACCESSORIES / DEVICE / EQUIPMENT ANCHOR POINTS.
- 3. PROVIDE DOUBLED BACK TO BACK STUDS AT ALL PARTITION SEGMENTS ALONGSIDE WALL HUNG CABINETS OR PLUMBING FIXTURES (IN ADDITION TO IN-PARTITION BACKER PLATES).
- 4. PROVIDE 5/8" CEMENTITIOUS BOARD AT CERAMIC TILE LOCATIONS. PROVIDE 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD ON SIDE OF PARTITIONS WITHIN BATHROOMS.



- P1** ONE HOUR FIRE RATED ASSEMBLY- U419 (51 STC)
 - UL U419 (51 STC)
 - PROVIDE CONTINUOUS FIRE SEALANT BEAD AROUND ENTIRE PERIMETER (BOTH SIDES) AND AROUND CUTOUTS. LOCATE CUTOUTS (FOR ADJACENT UNITS) WITHIN OPPOSITE STUD-TO-STUD CAVITIES.
 - TOP OF ASSEMBLY SHALL BE EXTENDED THROUGH OVERHANG TO BACK OF FASCIA, TOP/INSIDE FACE OF OVERHANG SOFFIT TO COMPLETELY INFILL THE TRIANGULAR OVERHANG CAVITY.
 - FIRE RETARDANT-TREATED ROOF SHEATHING SHALL EXTEND TO FASCIA.
 - FIRE RETARDANT-TREATED ROOF SHEATHING SHALL BE PROVIDED WITH TYPE 'X' MOISTURE RESISTANT GUB (IN LIEU OF STANDARD TYPE 'X' GUB), OMIT INSULATION.
- P2** SAME AS P2 BUT WITH 6" METAL STUD FRAMING AT 1'-4" O.C.
- P3** SAME AS P3, BUT WITH (DUAL) 6" FRAME ASSEMBLIES PROVIDED WITH GYPSUM BOARD ONLY, FROM FLOOR TO TOP OF ASSEMBLY (IN LIEU OF MORTAR BOARD FOR WANSCOT).
- P3** SAME AS P3, BUT WITH (SINGLE) 6" FRAME ASSEMBLY PROVIDED WITH GYPSUM BOARD ONLY, FROM FLOOR TO TOP OF ASSEMBLY (IN LIEU OF MORTAR BOARD FOR WANSCOT).

MARK	TYPE	SIZE	MATERIAL	FINISH	REMARKS
A	HORIZONTAL ROLLING	12" X 48"	ALUMINUM LAMINATED GLASS	ESP - WHITE TINTED	MIAMI-DADE COUNTY NOTICE OF ACCEPTANCE (N.O.A.) - 19-092919
B	HORIZONTAL ROLLING	36" X 36"			
C	HORIZONTAL ROLLING	36" X 24"		FROSTED	
D	HORIZONTAL ROLLING	66" X 50-5/8"			
E	HORIZONTAL ROLLING	60" X 48"			
EI	HORIZONTAL ROLLING	54" X 48"			
F	HORIZONTAL ROLLING	66" X 36"			

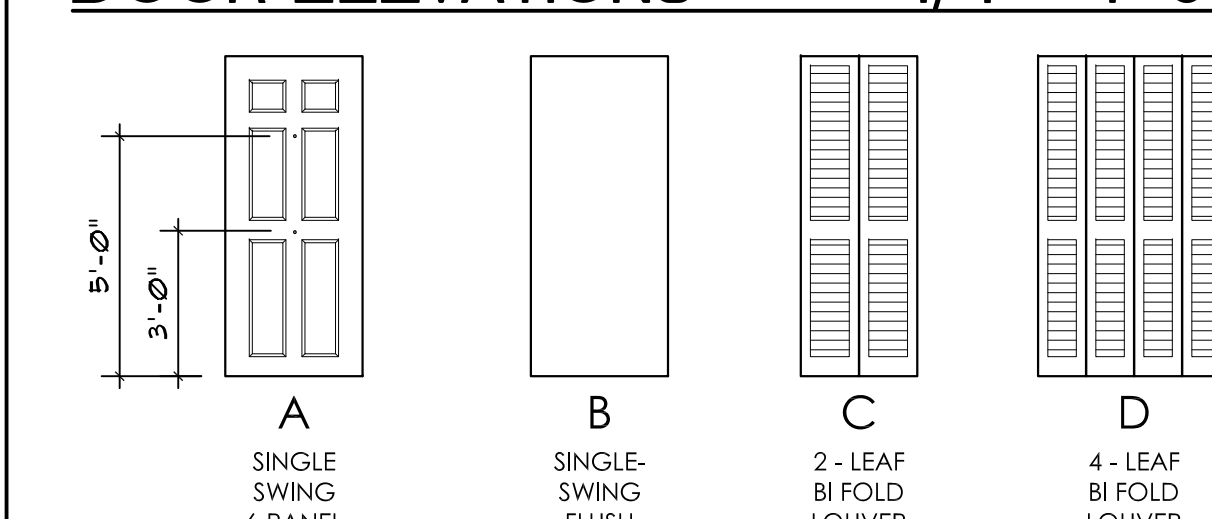
- WINDOW SCHEDULE**
- NOTES:
- WINDOW SCHEDULE VALUES ARE BASED ON WINDOW MODELS MANUFACTURED BY OSI WINDOWS AND DOORS, SENTINEL HORIZONTAL ROLLING WINDOW SERIES 120 AND ARE SPECIFIED TO ESTABLISH PROJECT WINDOW STANDARDS.
 - WINDOW SHALL HAVE CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL NOTICE OF ACCEPTANCE (N.O.A.)
 - GLAZING SHALL BE 9MM IMPACT RESISTANT LO E 366 WITH GREAT TINT. SUBMIT GLAZING SAMPLE FOR APPROVAL.
 - ALL WINDOWS WITHIN 4'-0" ADJACENCY TO A DOOR, AND ALL WINDOWS WITHIN BATHROOMS SHALL BE OF CATEGORY II SAFETY GLAZING.
 - PROVIDE 8" X 8" CONCRETE BULL WITH 2 # 5 REINFORCING.
 - CONTRACTOR SHALL FIELD VERIFY MASONRY OPENINGS PRIOR TO FABRICATION OF WINDOWS.
 - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DOORS / WINDOWS OVERALL DIMENSIONS WITH ROUGH MASONRY OPENINGS.
 - CONTRACTOR SHALL SUBMIT WINDOW SHOP DRAWINGS PRIOR TO ORDERING WINDOWS FOR ARCHITECT'S REVIEW FOR APPROVAL.
 - EACH WINDOW SHALL HAVE AN INSECT SCREEN.

UNIT	NAME	ROOM NO.	FLOOR	BASE	WALL	WANSCOT	CEILING	REMARKS
UNIT 1 (ADA COMP.)	LIVING	111	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	KITCHEN	112	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	BATHROOM	113	CERAMIC TILE	COVE C.T.	PAINT	CERAMIC TILE	PAINT	SEE GENERAL FINISH NOTES 2 AND 3
UNIT 2	BEDROOM	114	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	LIVING/SLEEPING	121	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	KITCHEN	122	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
UNIT 3 (ADA COMP.)	BATHROOM	123	CERAMIC TILE	COVE C.T.	PAINT	CERAMIC TILE	PAINT	SEE GENERAL FINISH NOTES 2 AND 3
	LIVING/SLEEPING	131	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	KITCHEN	132	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
UNIT 4	BATHROOM	133	CERAMIC TILE	PAINT	CERAMIC TILE	PAINT	PAINT	SEE GENERAL FINISH NOTES 2 AND 3
	LIVING	141	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	KITCHEN	142	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
N/A	BATHROOM	143	CERAMIC TILE	CERAMIC TILE	PAINT	CERAMIC TILE	PAINT	SEE GENERAL FINISH NOTES 2 AND 3
	BEDROOM	144	V.C.T.	WOOD/TYPE I	PAINT	N/A	PAINT	
	STORAGE	151	CONCRETE (EXISTING)	N/A	PAINT	N/A	PAINT	

- FINISH SCHEDULE**
- GENERAL FINISH NOTES:
- ALL NEW GYPSUM BOARD SURFACES SHALL BE PROVIDED WITH TAPED AND COMPOUND LEVEL 4 (SMOOTH).
 - ALL VERTICAL SURFACES SCHEDULED TO RECEIVE CERAMIC TILE SHALL BE PROVIDED WITH 5/8" CEMENTITIOUS BOARD AS SUBSTRATE FOR WALL TILE THINSET MATERIAL.
 - REFER TO INTERIOR ELEVATIONS FOR TILE INSTALLATION HEIGHTS.
 - PROVIDE FIRE STOP AT ALL CAVITY WALLS/ PARTITION A 8'-0" MAX.
 - ALL CONCRETE SURFACES SCHEDULED TO RECEIVE VCT SHALL RECEIVE ARMSTRONG 9-184 FAST SETTING PATCH/ UNDERLAYMENT LEVELING COMPOUND OR APPROVED EQUIVALENT.
 - PRIOR TO VCT INSTALLATION, FOLLOW RESILIENT TILE MANUFACTURER'S INSTRUCTIONS AND PERFORM BOND TEST, MOISTURE TEST, pH TEST AND VAPOR EMISSION TESTS IN ACCORDANCE WITH THE RESPECTIVE ASTM STANDARDS.

FINISH MATERIALS	WALL FINISH (PAINT):
FLOORING: VINYL COMPOSITION TILE: MANUFACTURER / TYPE: ARMSTRONG EXCELON (OR APPROVED EQUIVALENT) COLOR / PATTERN: TO BE SELECTED BY ARCHITECT PORCELAIN FLOOR TILE: MANUFACTURER / TYPE (OR APPROVED EQUIVALENT): MODEL: KEYSTONE 1 OR 2 (AT SHOWERS) COLOR: TO BE SELECTED BY ARCHITECT MATERIAL: 9" X 9" AT BATHROOMS COLOR: TO BE SELECTED BY ARCHITECT NOTES: CENTER TILE IN ROOM ADJUST AS NECESSARY TO AVOID LESS THAN HALF A TILE AT PERIMETER WALL TILE (WANSCOT AND SHOWER WALLS): MANUFACTURER / TYPE: DAL TILE SEMI-GLOSS WALL TILE GROUP 1 AND 2 (OR APPROVED EQUIVALENT) WALL TILE: 4" X 4" (NOMINAL) WANSCOT BULL NOSE: 2" X 6" (NOM.) NOTE: PROVIDE COVE EDGE TILES AT ALL TILE EXPOSED EDGES. TILE GROUT: MANUFACTURER: MAIFEI OR APPROVED EQUIVALENT GROUT COLOR: - TO BE SELECTED BY ARCHITECT NOTE: ALL GROUT JOINTS SHALL BE 1/8" - OR MINIMUM RECOMMENDED BY TILE MANUFACTURER. TRIM: WALL WOOD BASE: PAINT GRADE PINE, 4" X 1/2" (NOMINAL) REFER TO DETAIL DOOR WOOD CASING / TRIM: PAINT GRADE PINE, 3-1/2" X 3/4" (NOMINAL) REFER TO DETAIL.	MANUFACTURER: SHERWIN WILLIAMS' PAINTS (OR APPROVED EQUIVALENT) INTERIOR (GYPSUM BOARD SURFACES - WALLS AND CEILING): ALL GYPSUM BOARD SURFACES SHALL RECEIVE ONE COAT OF PROHAR 200 ZERO VOC INTERIOR LATEX PRIMER WHITE AND TWO (2) COATS OF LATEX BASED SEMI-GLOSS PROHAR 200 ZERO VOC. CONTRACTOR SHALL PROVIDE 4" X 4" PAINT SAMPLES OF EACH COLOR FOR APPROVAL. COLOR: ONE COLOR - TO BE SELECTED INTERIOR (WOOD TRIM - BASE BOARDS, DOOR FRAMES AND INTERIOR WOOD DOORS): ALL WOOD TRIM SURFACES SHALL RECEIVE ONE COAT OF PRERITE PROBLOCK LATEX PRIMER/ SEALER WHITE AND TWO (2) COATS OF GLOSS FINISH PAINT PRO INDUSTRIAL DTM ACRYLIC GLOSS EXTRA WHITE CONTRACTOR SHALL PROVIDE PAINT SAMPLE (ON MATERIAL) FOR APPROVAL. COLOR: WHITE EXTERIOR METAL DOORS: ALL EXTERIOR METAL DOORS SHALL BE PAINTED WITH ONE (1) COAT OF PRO INDUSTRIAL PRO-CRYL UNIVERSAL ACRYLIC PRIMER AND TWO COATS OF PRO INDUSTRIAL DTM ACRYLIC GLOSS. COLOR: WHITE EXTERIOR (CEMENT / PLASTER SURFACES): CEMENT STUCCO / PLASTER SURFACES SHALL RECEIVE ONE COAT HOT STUCCO SEALER AND TWO (2) COATS OF SUPERPAINT ACRYLIC LATEX SATIN PAINT FINISH. COLOR: WHITE COUNTERTOP AND BACKSPLASH (PLASTIC LAMINATE): MANUFACTURER: WILSONART OR APPROVED EQUIVALENT COLOR: TO BE SELECTED BY ARCHITECT SUBMIT SAMPLES FOR APPROVAL BY ARCHITECT

DOOR ELEVATIONS 1/4" = 1'-0"



INTERIOR FINISHES AND INSULATION CLASSIFICATIONS

- INTERIOR WALL AND CEILING FINISH SHALL BE CLASS C.
- INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.

BURGLARY SECURITY + FORCED ENTRY

- EXTERIOR DOORS LOCK SETS: SHALL RESIST A FORCE OF 300 LBS. APPLIED IN ANY MOVEABLE DIRECTION IN ACCORDANCE WITH THE RESISTANCE STANDARDS IN THE LATEST EDITION OF THE F.B.C.
- EXTERIOR WINDOWS: SHALL BE LOCKED WITH LOCKING DEVICE LOCATED ON THE INTERIOR SIDE OF THE WINDOW AND SHALL BE CAPABLE OF WITHSTANDING A FORCE OF 150 LBS. APPLIED IN ANY OPERABLE DIRECTION.
- WINDOW SUB-BUCKS: SHALL CONSIST OF 2" MIN. (NOMINAL) PRESSURE TREATED SUB-BUCKS ANCHORED TO CONC. / MASONRY IN A MIN. OF SIX (6) ON EACH SIDE, WITH 3" (LONG) FASTENERS.

1 1/2" = 1'-0"

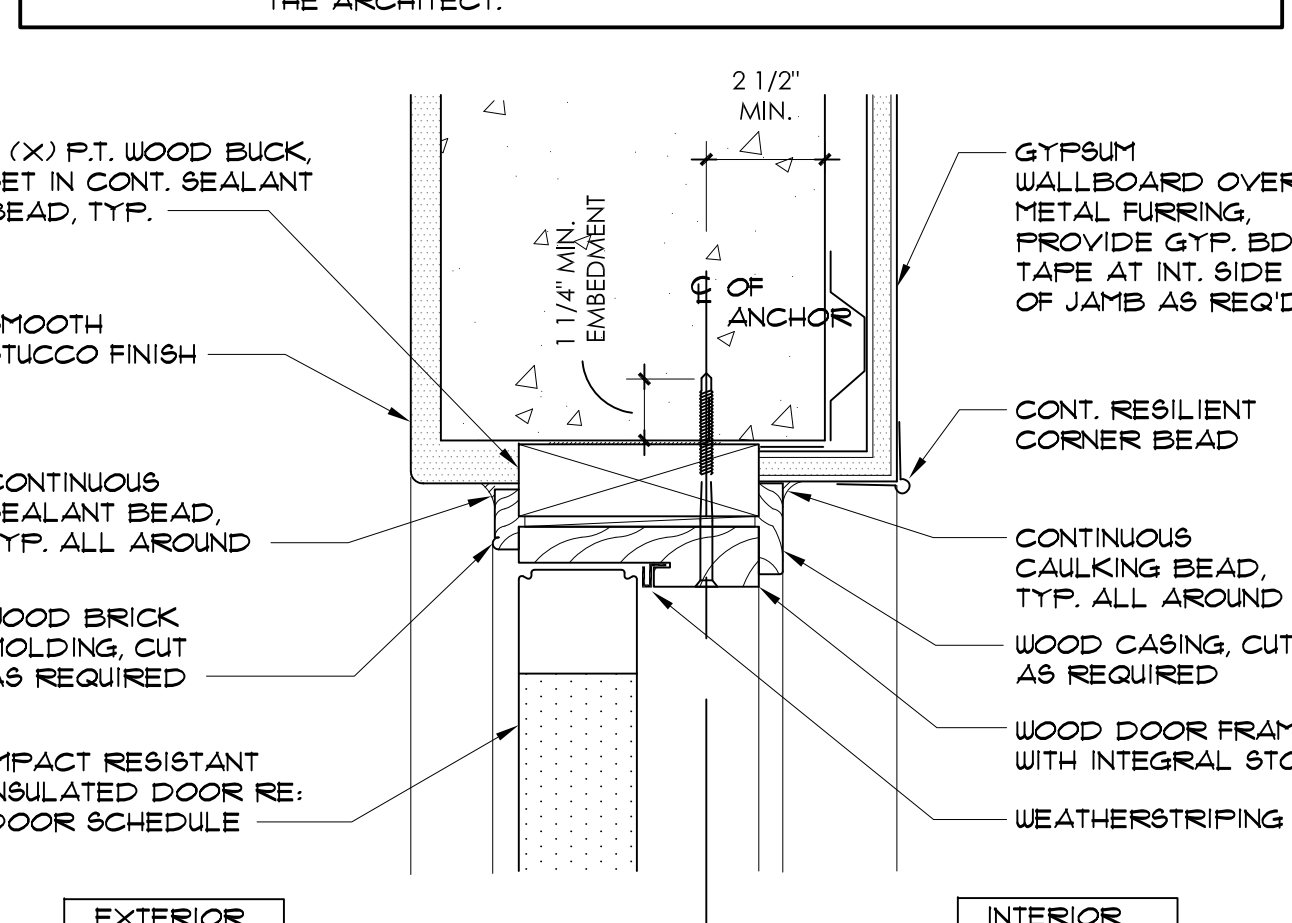
DOOR FINISH HARDWARE SCHEDULE

GROUP 1 (FRONT ENTRY DOORS):	QUAN.	DESCRIPTION	MODEL	FIN.	MFR.
1 EA.	KEYED ENTRY LOCKSET	FBI ELA	626	SCH	
1 EA.	DEADBOLT	B60R6	626	SCH	
3 EA.	HINGES		630	HAGER	
1 SET	WEATHERSTRIP (BY DOOR MFR)				
1 EA.	DOOR BOTTOM SLEEP	T185	ALUM	HAGER	ZERO
1 EA.	THRESHOLD SPRING CHAIN (DOOR SWING STOP)	623A	UPAL		

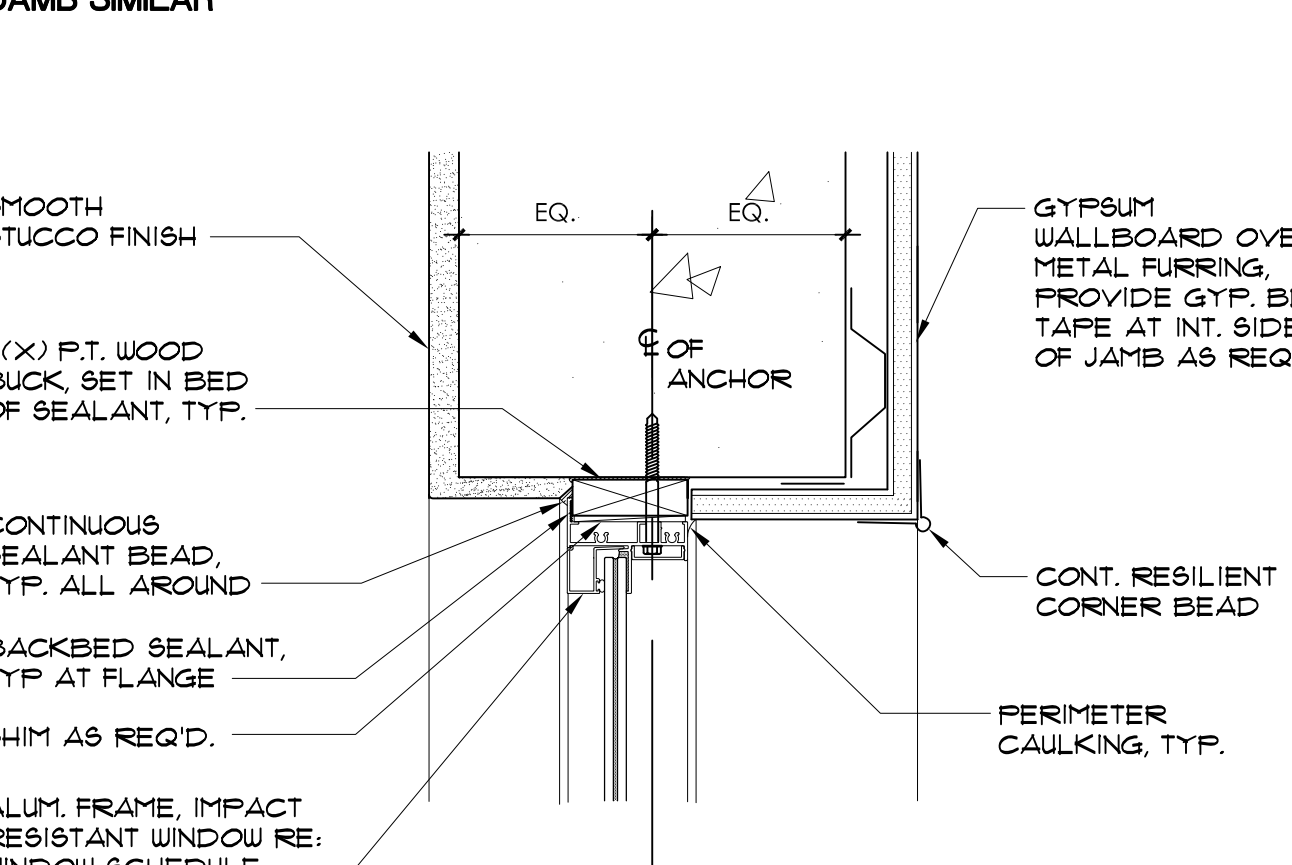
GROUP 2 (BEDROOM/ BATHROOM DOORS):	QUAN.	DESCRIPTION	MODEL	FIN.	N.T.S.
1 EA.	PRIVACY LOCKSET	FBI ELA	626	SCH	
1 EA.	HINGES		630	HAGER	
1 EA.	WALL STOP	U811			
1 EA.	MARBLE THRESHOLD (AT BATHROOM DOORS ONLY)				

NOTES:

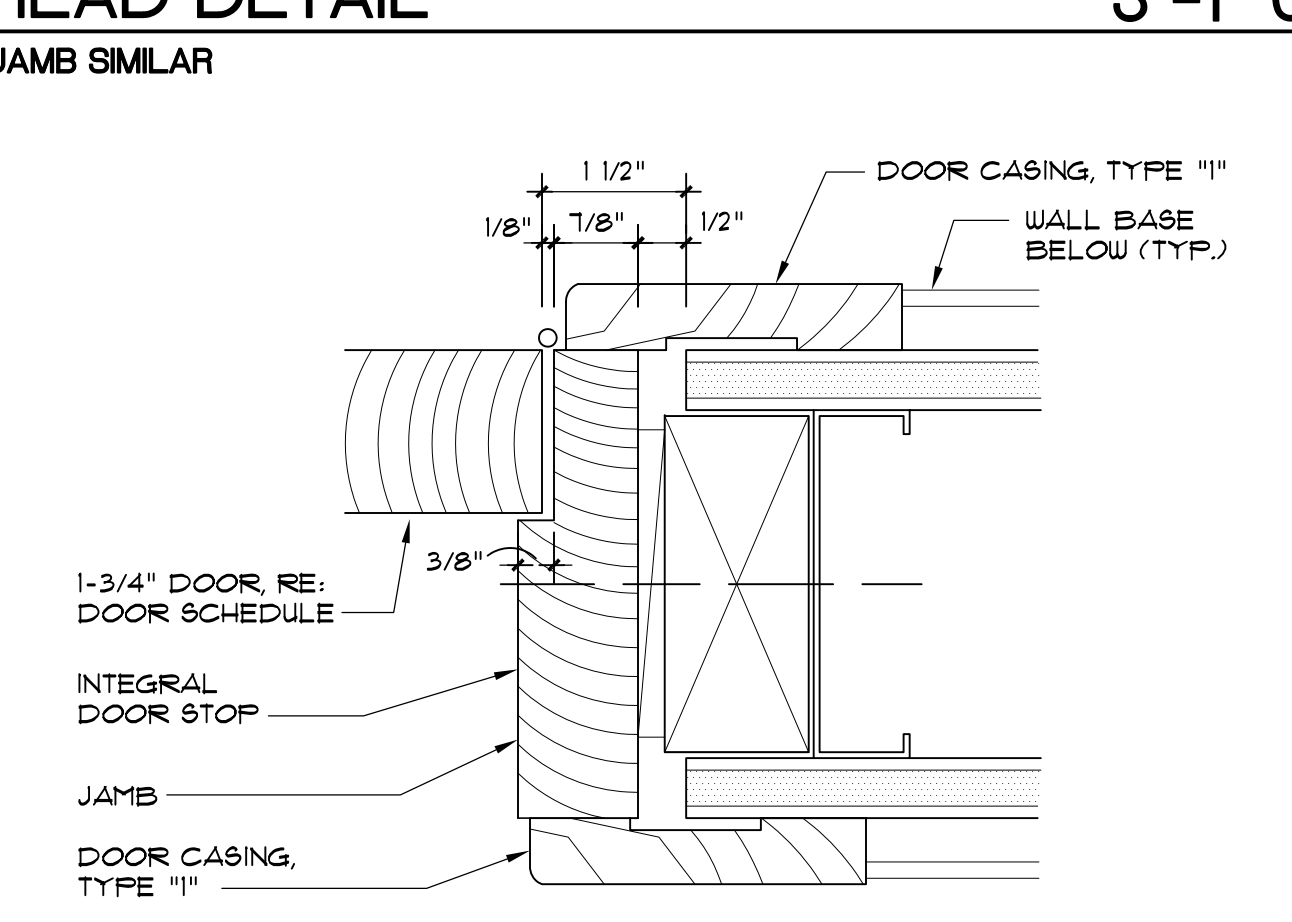
- ENTRY DOORS LOCKSETS COMBO SHALL BE KEYED ALIKE.
- PROVIDE QUINER WITH MASTER KEY FOR ALL UNITS.
- PROVIDE IN-PARTITION METAL BACKING PLATE FOR WALL STOP.
- SUBMIT SHOP DRAWINGS FOR REVIEW.
- ALL CATALOG NUMBERS REFERRED TO IN THE HARDWARE SCHEDULE ARE TAKEN FROM CATALOGUES OF THE MANUFACTURERS LISTED. THEY ARE USED ONLY TO ESTABLISH THE QUALITY AND TYPE OF HARDWARE TO BE USED. HARDWARE EQUAL IN QUALITY AND UTILITY WILL BE ACCEPTED PROVIDED IT CONFORMS IN OPERATION, QUALITY, WEIGHT, SIZE, WORKMANSHIP, AND FINISH TO THE PRODUCTS DESCRIBED - AS DETERMINED BY THE ARCHITECT.



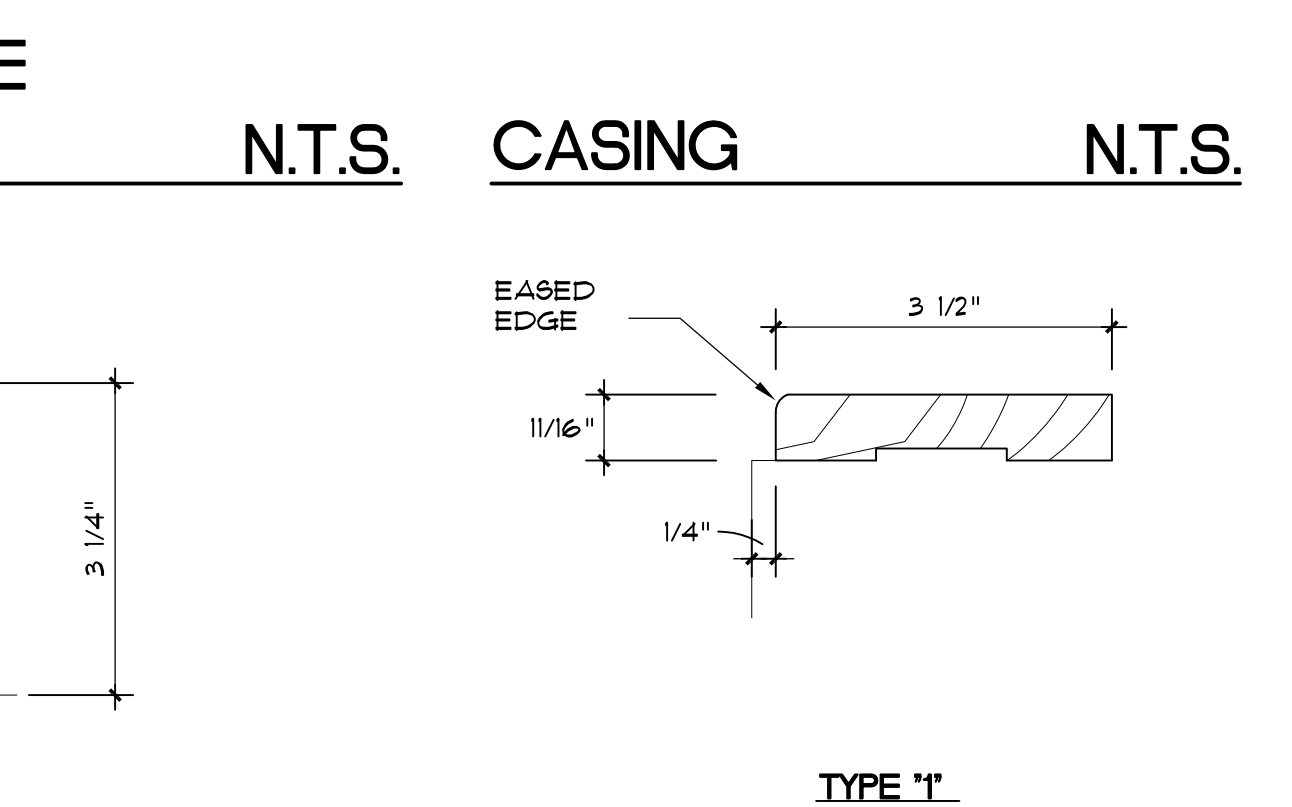
TYPICAL EXTERIOR DOOR HEAD DETAIL 3"=1'-0"



TYPICAL WINDOW HEAD DETAIL 3"=1'-0"



TYPICAL INTERIOR DOOR HEAD + JAMB DETAIL 6"



WALL BASE BOARD PAINT GRADE PINE
N.T.S.
CASING EASED EDGE
N.T.S.

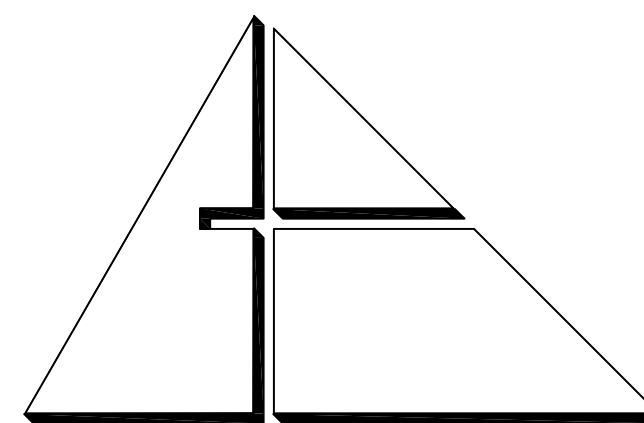
ALLEGUEZ ARCHITECTURE, INC.
ARCHITECTURE PLANNING INTERIOR DESIGN CONSTRUCTION MANAGEMENT
901 PONCE DE LEON BLVD., SUITE 202 CORAL GABLES, FLORIDA 33134 (305) 481 4001 (FAX) 481 6002 E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
GARTKX ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE MIAMI, FLORIDA 33155 TEL: (305) 266-8997 FAX: (305) 264-6496

CITY OF MIAMI LIFE QUEST RENOVATIONS 1301 N.E. 111 ST.
Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

PARTITION TYPES, WALL SECTIONS, SCHEDULES & DETAILS
DRAWING TITLE:
DATE: SEPTEMBER 15, 2014
REVISED:
CAD DRAWING NAME: 1301 A-3.1.DWG
SHEET NO.

STATE OF FLORIDA REGISTERED ARCHITECT ANA ALLEGUEZ LICENSE NO. AR14190
ANALOGUEZ ARCHITECTURE, INC.
BID SET
A-3.1

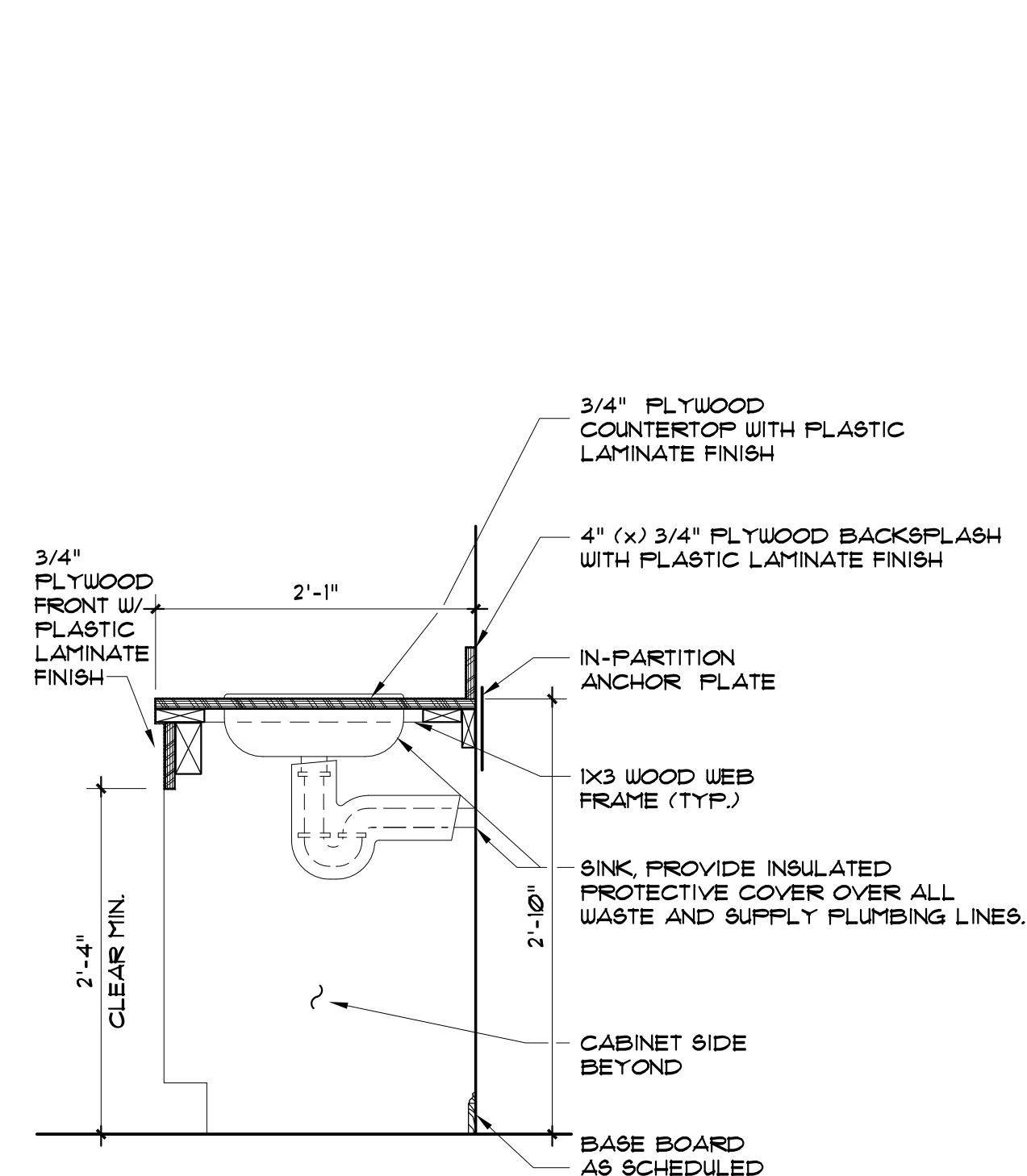


ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

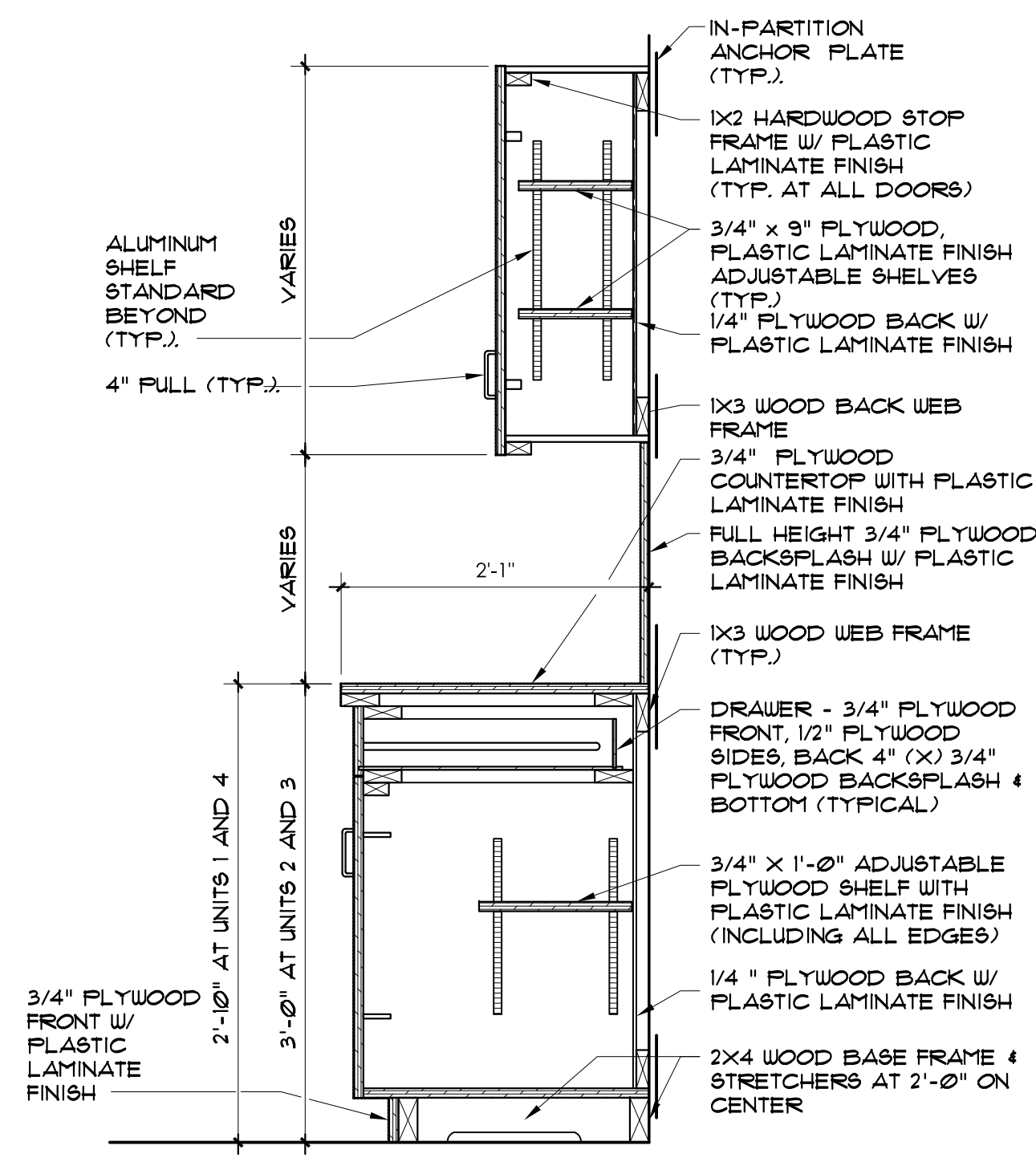
901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 461 4001 (FAX) 461 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:
MECHANICAL ELECTRICAL PLUMBING ENGINEER:
GARTER ENGINEERING CORP.
7215 SW 11TH ST. TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 266-6997 FAX: (305) 264-9496



KITCHEN COUNTERTOP SINK SECTION
1" = 1'-0"

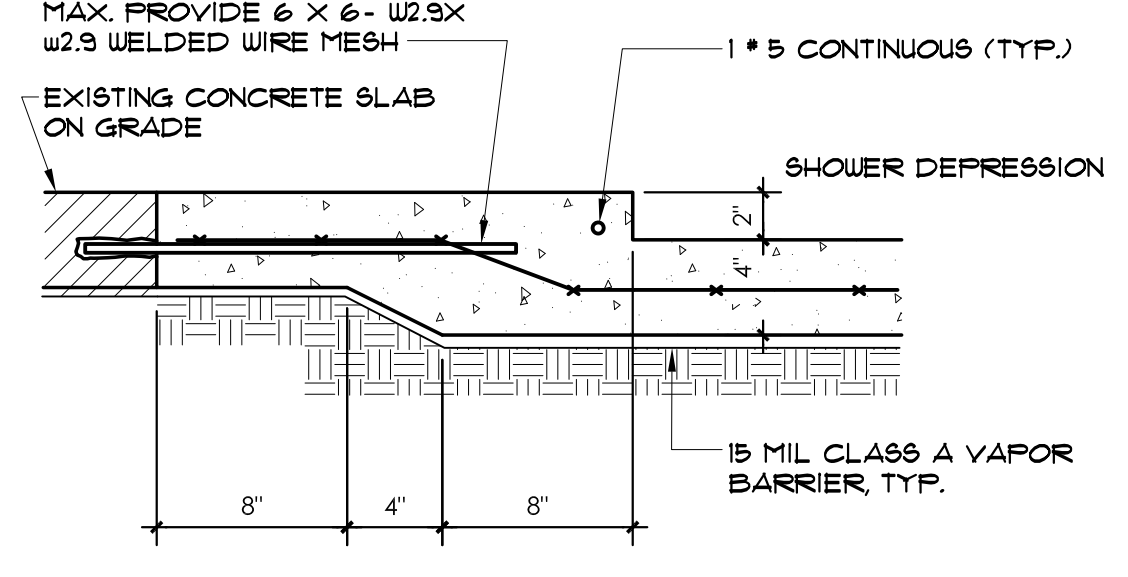
A.D.A. UNIT 1/
NOTE:
1. SEE GENERAL CABINET NOTES ON THIS SHEET.



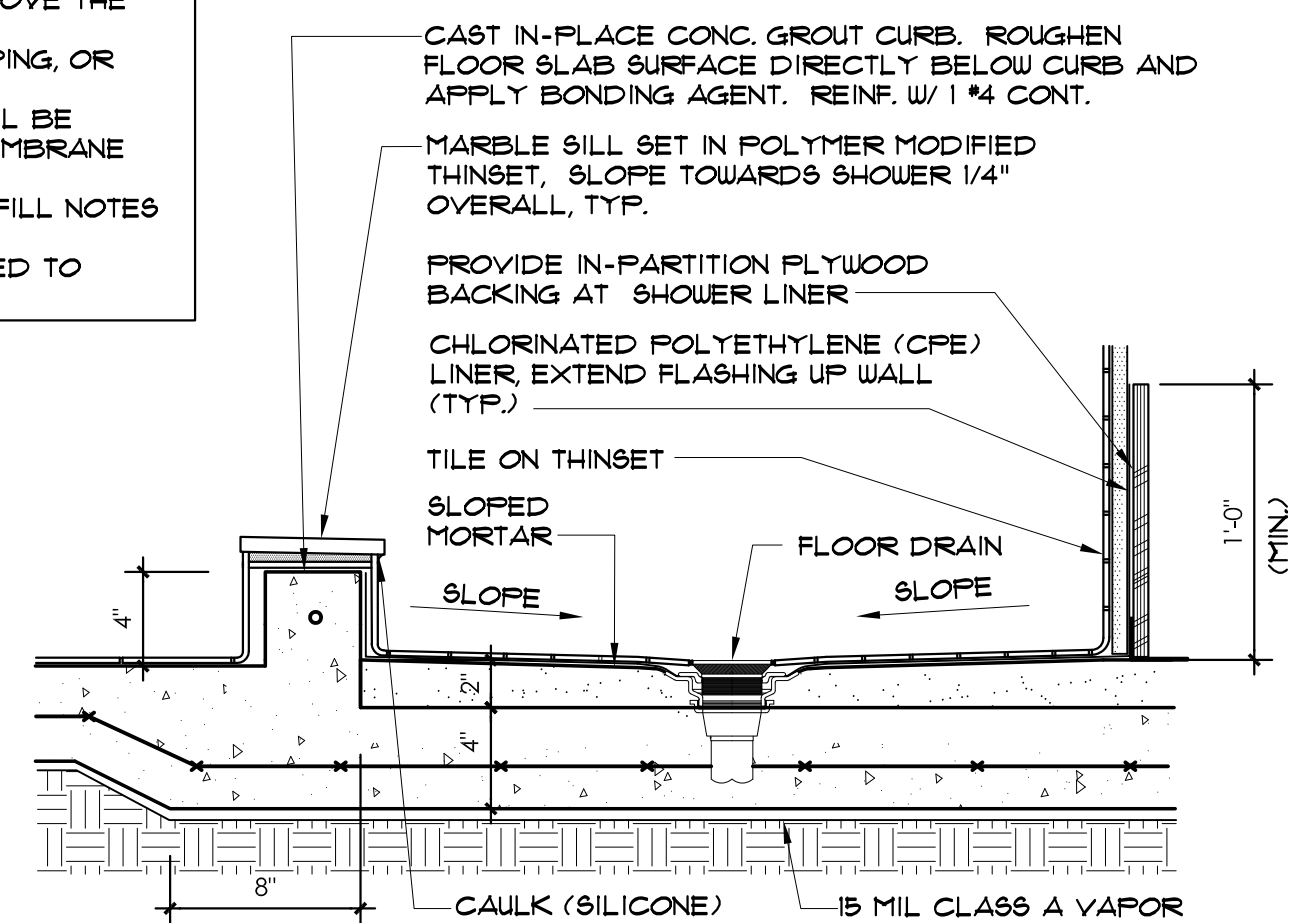
TYPICAL KITCHEN CABINETS SECTION
1" = 1'-0"

NOTE: 1. SEE GENERAL CABINET NOTES ON THIS SHEET.

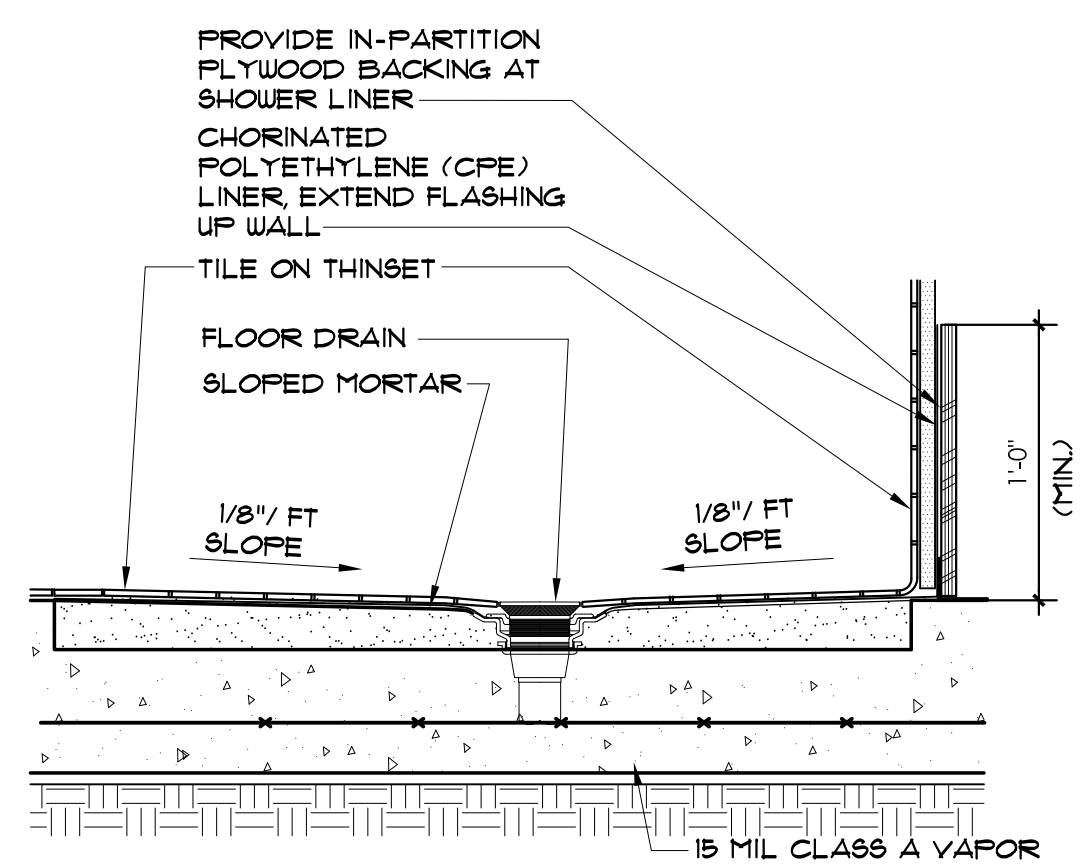
SHOWER NOTES
1. COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE.
2. ALL PENETRATIONS OF THE MEMBRANE LINER (INCLUDING STAPLES AND NAILS) SHALL BE AT LEAST 1" ABOVE THE HEIGHT OF TOP OF CURB CURB.
3. CORNERS SHALL BE MADE BY FOLDING, LAPPING, OR SOLVENT WELDING WITH APPROVED MATERIAL.
4. JOINTS AND SEAMS OF MEMBRANE LINER SHALL BE MADE USING MATERIALS APPROVED BY THE MEMBRANE MANUFACTURER.
5. CONCRETE SHALL BE 3000 PSI, REFERENCE INFILL NOTES FOR FURTHER INFORMATION.
6. REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO ACCOMMODATE NEW SHOWER.



SHOWER SLAB DETAIL
1-1/2" = 1'-0"

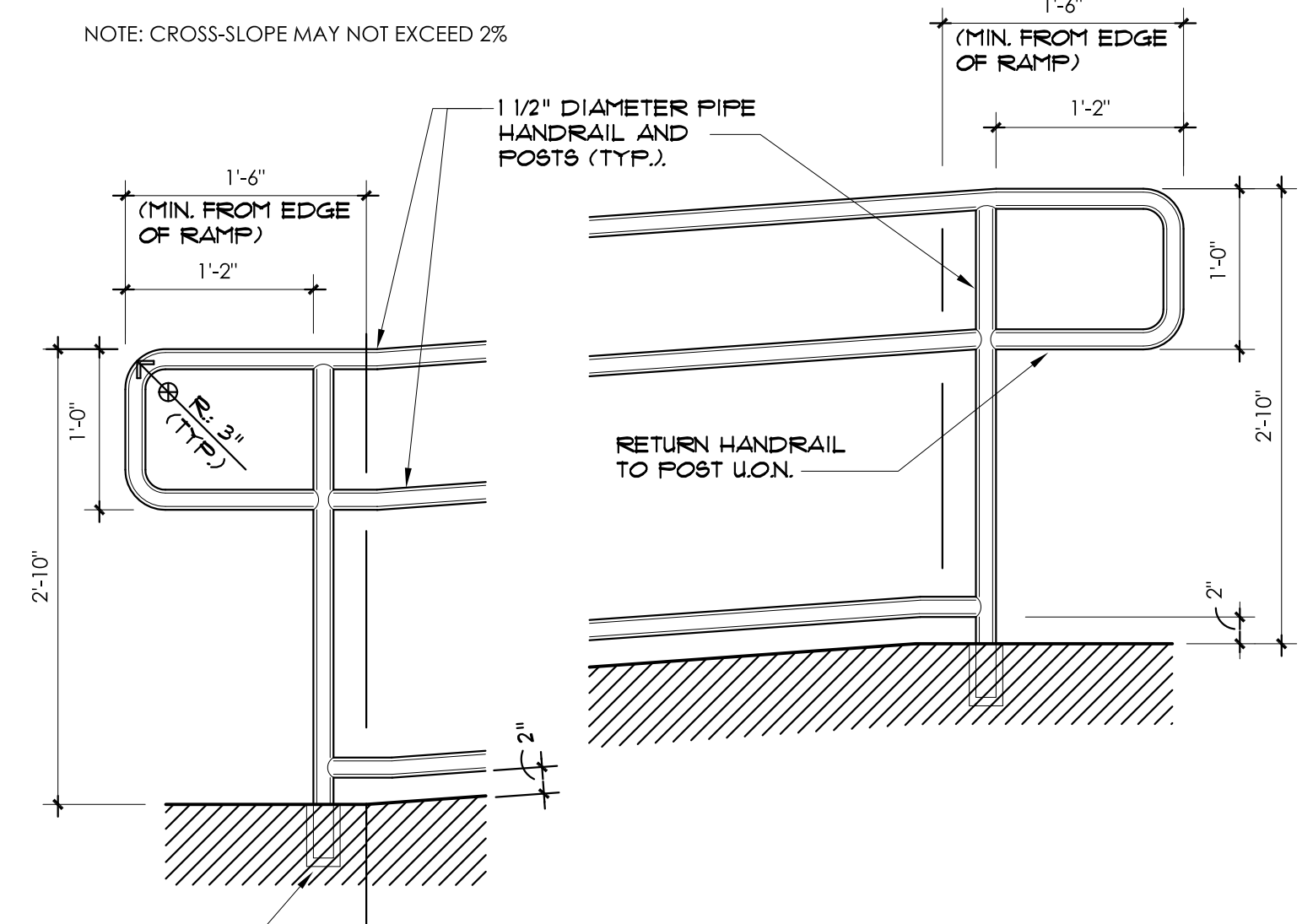


NON H/C SHOWER SLAB DETAIL
1-1/2" = 1'-0"



H/C SHOWER SLAB DETAIL
1-1/2" = 1'-0"

NOTE: 1. COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE.



1 DETAIL
1" = 1'-0"

SEE RAILING NOTES ON SHEET A-20

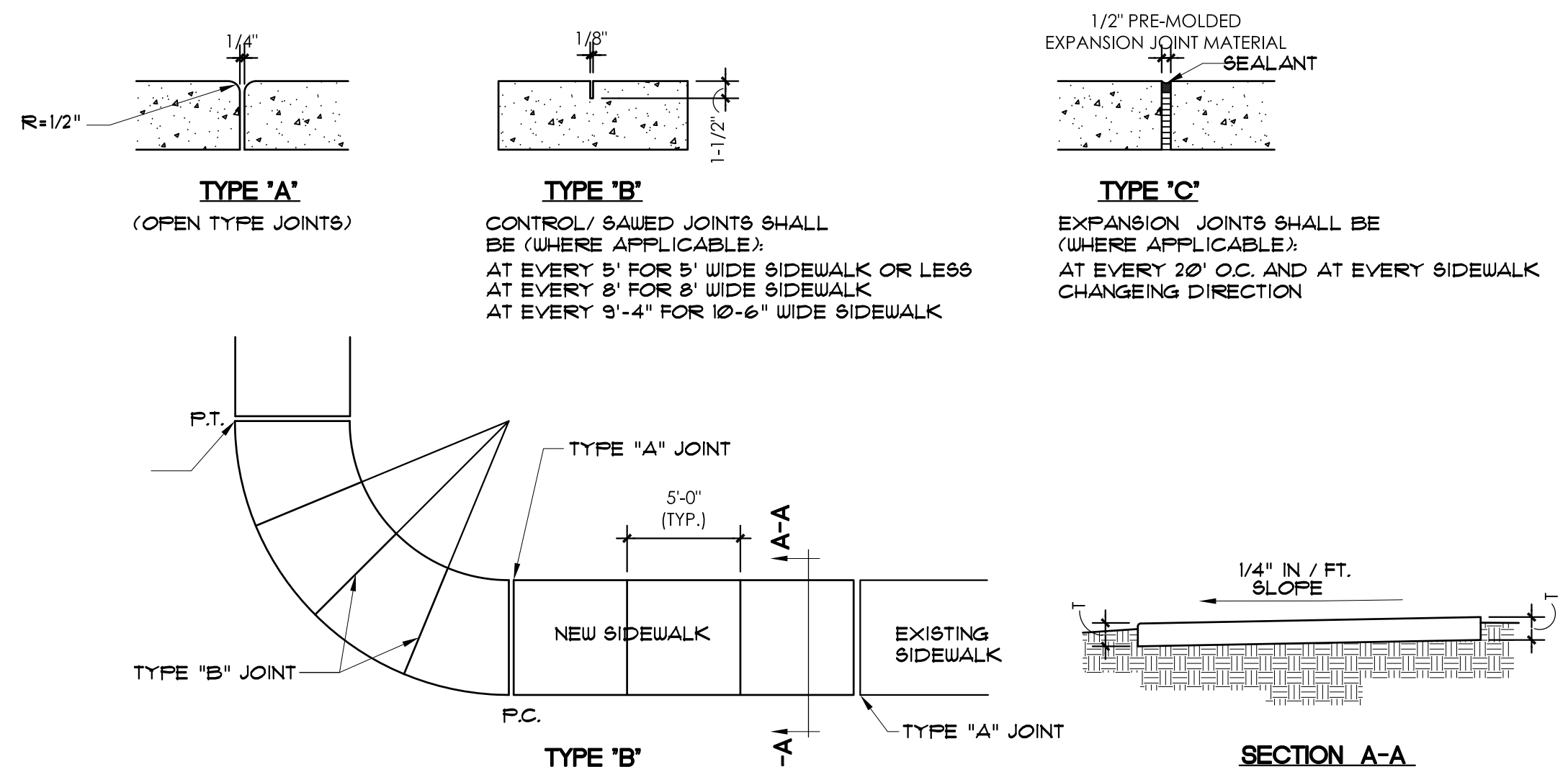


TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
'A'	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
'B'	5'-0" CENTER TO CENTER ON SIDEWALKS
'C'	* WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

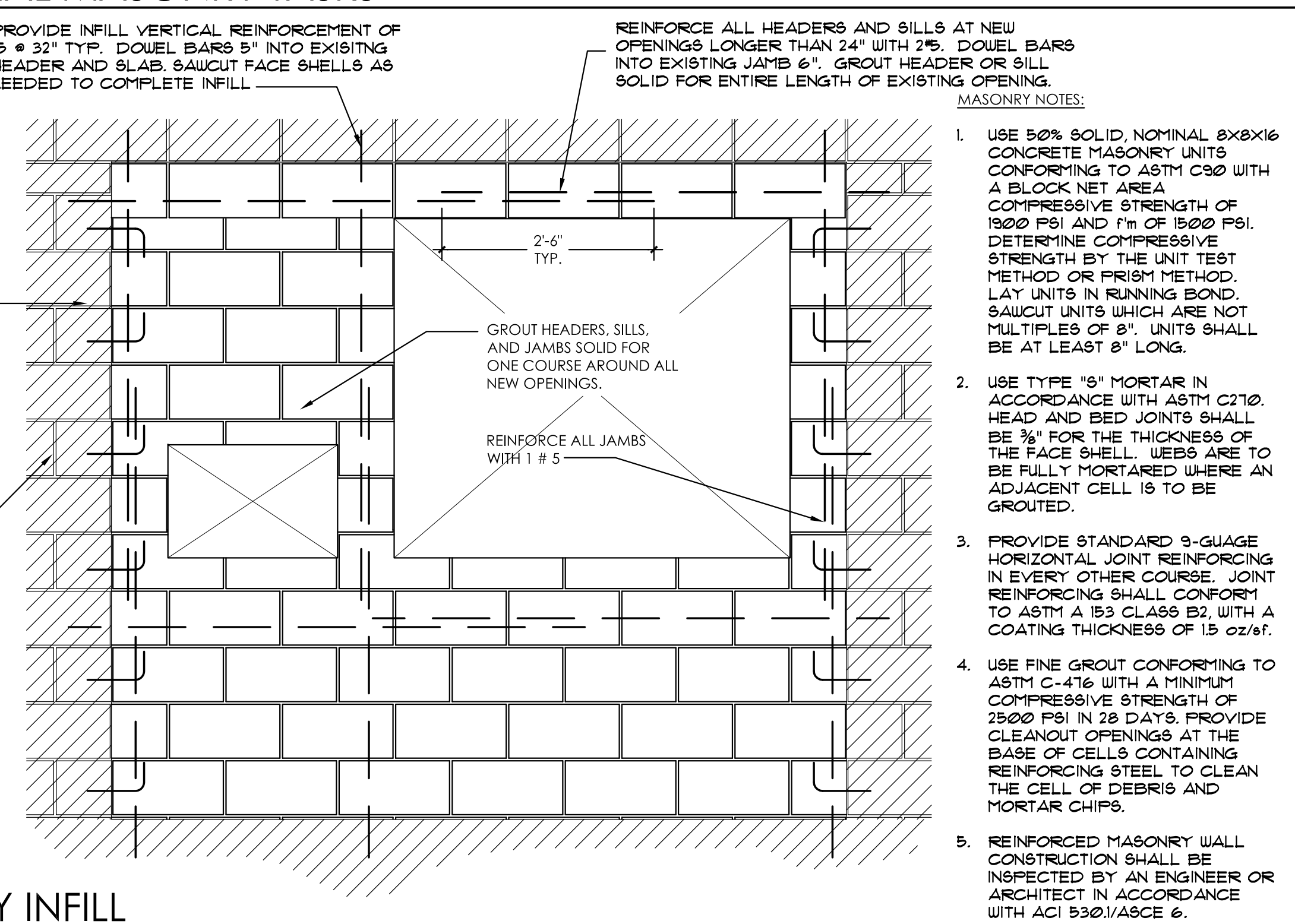
TABLE OF SIDEWALK THICKNESS 'T'

LOCATION	'T'
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

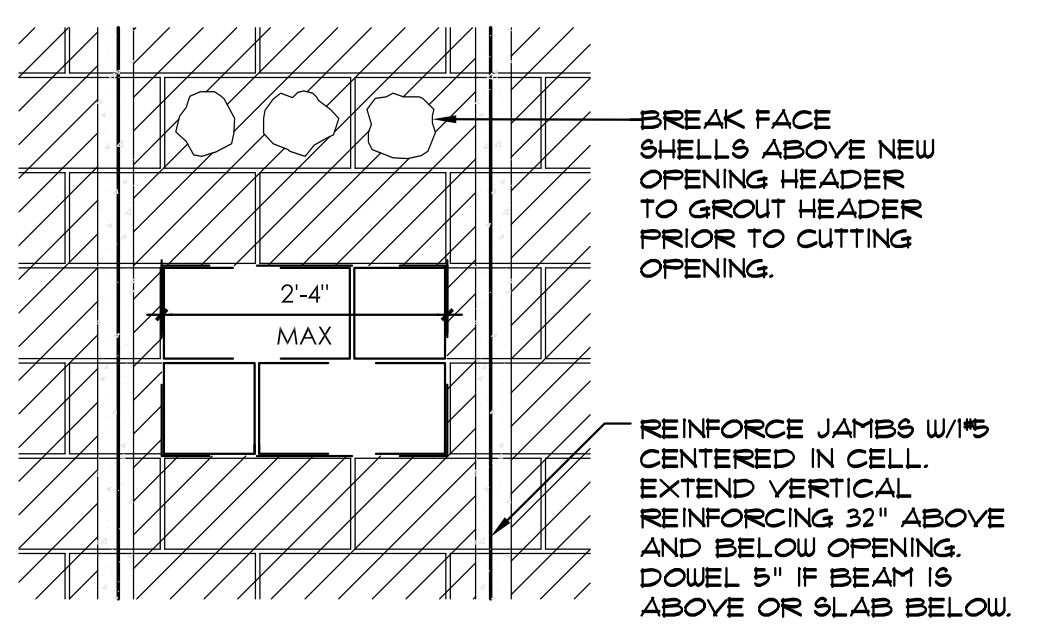
CONCRETE SIDEWALK NTS

CONCRETE INFILL NOTES
1. UTILITIES (PLUMBING UNDERGROUND) CONCRETE INFILL SHALL BE PERFORMED AS FOLLOWS:
A) WHEN WIDTH OF CONCRETE SLAB INFILL GREATER THAN 2'-0", PROVIDE #3 DOUELS WITH 3" EMBEDMENT AT 24" O.C. PROVIDE 6 X 6- W2.9X W2.9 WELDED WIRE MESH AND INFILL WITH CONCRETE. TOOL AND SEAL JOINT(S). COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE. REPAIR VAPOR BARRIER.
B) WHEN WIDTH OF CONCRETE SLAB INFILL LESS THAN 2'-0", ROUGHEN SIDES AND INFILL WITH CONCRETE. PROVIDE 6 X 6- W2.9X W2.9 WELDED WIRE MESH AND INFILL WITH CONCRETE. TOOL AND SEAL JOINT(S). COMPACT EXISTING SOIL PRIOR TO INFILLING WITH CONCRETE.

STRUCTURAL MASONRY TASKS



MASONRY INFILL AT EXISTING MASONRY WALL OPENINGS

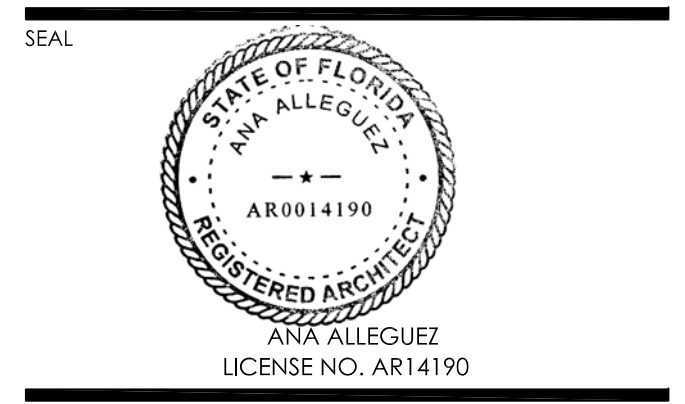


- CONSTRUCTION SEQUENCE:**
1. SAUCUT FACE SHELLS AT JAMBS AND REINFORCE.
 2. BREAK FACE SHELLS ABOVE LOCATION OF NEW OPENING.
 3. BLOCK UNFILLED VERTICAL CELLS BELOW THE SILL.
 4. GROUT NEW JAMBS, HEADER, AND SILL.
 5. SAUCUT NEW OPENING & REMOVE BLOCK.

MASONRY OPENINGS AT EXISTING MASONRY WALL

CITY OF MIAMI LIFE QUEST RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

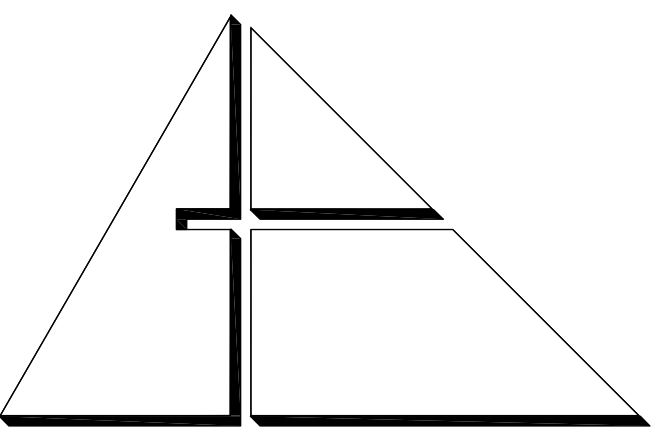


DATE: APRIL 15th, 2015

CAD DRAWING NAME:
1301 A-3.2.DWG

SHEET NO.

A-3.2



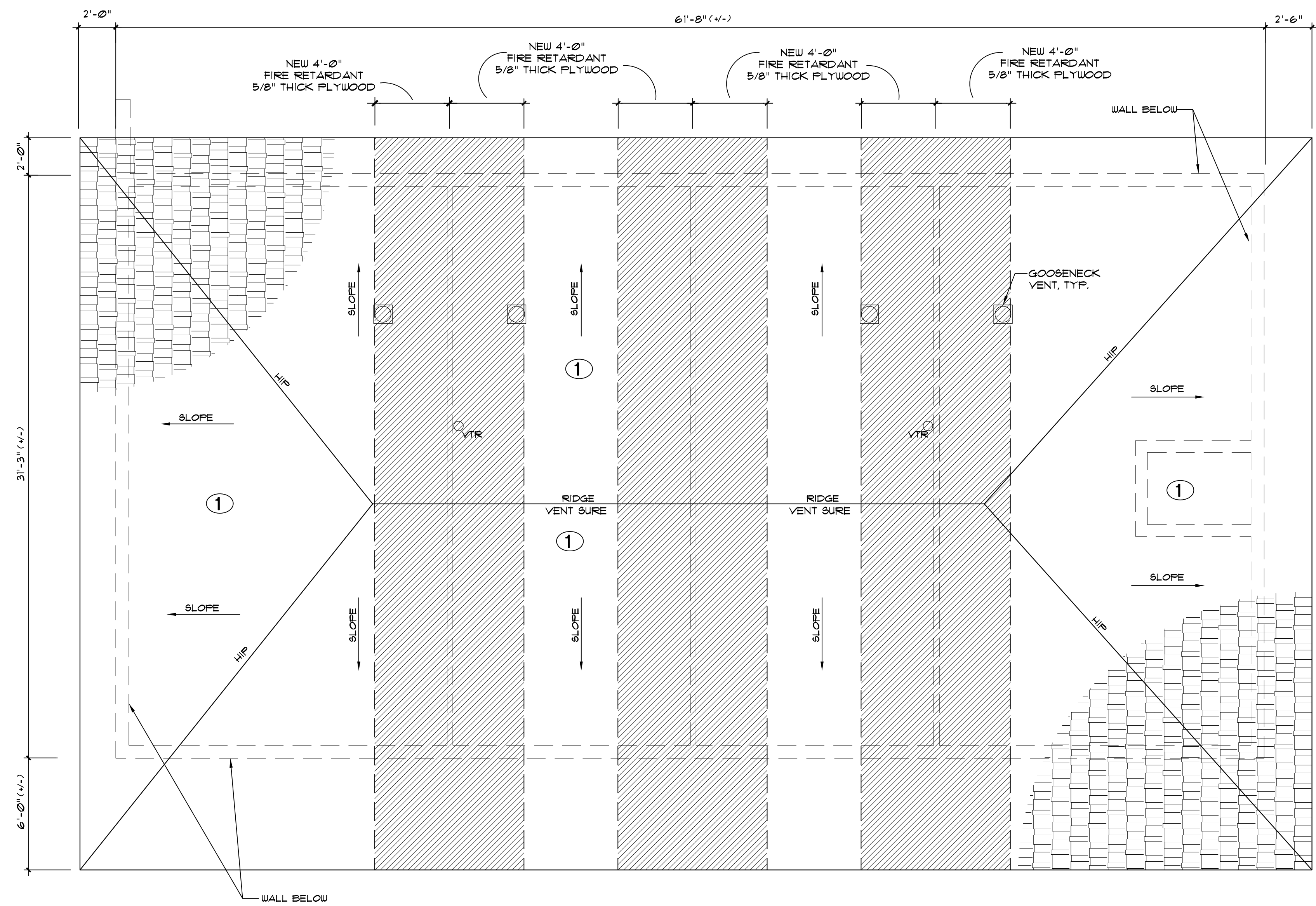
ALLEGUEZ
ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
GARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 266-8997 FAX: (305) 264-9496



ROOF PLAN 1/4"=1'-0"

SYMBOL LEGEND

- FIBERGLASS FOUR TAB ASPHALT SHINGLES
- GOOSENECK VENT
- ATTIC OFF-RIDGE VENT (SEE DETAILS ON SOFFIT A-4.1)
- VTR VENT THROUGH ROOF

ROOF SYSTEM

- 1 FIBERGLASS REINFORCED FOUR TAB ASPHALT SHINGLE ROOFING SYSTEM
- DECK TYPE: EXISTING WOOD PLANK OR PLYWOOD SHEATHING (SEE NOTE 4)
- UNDERLAYMENT: PRO ARMOR SYNTHETIC ROOF UNDERLAYMENT NOA # 14-1215-05
- SHINGLE: TRUEDEFINITION DURACION AS MANUFACTURED BY OUEMS CORNING ROOFING & ASPHALT LIG. NOA # 16-0425-01 COLOR: QUARRY GRAY

ASPHALT SHINGLE SYSTEM WARRANTY

MANUFACTURER'S WARRANTY: PROVIDE OUEMS CORNING 20 YEARS PLATINUM PROTECTION ROOFING SYSTEM LIMITED WARRANTY. APPLICATOR'S WARRANTY: APPLICATOR SHALL PROVIDE A 2 YEARS (NO DOLLAR LIMIT) WARRANTY. SEE APPLICATOR'S WARRANTY NOTE FOR ADDITIONAL INFORMATION.

ROOFING NOTES

1. CONTRACTOR SHALL OBTAIN A HIGH VELOCITY ROOFING PERMIT FROM THE GOVERNING AGENCY.
2. ROOFING SYSTEM SHALL HAVE CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL, NOTICE OF ACCEPTANCE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH NRCA STEEP ROOFING MANUAL AND MANUFACTURER'S INSTALLATION REQUIREMENTS.
4. CONTRACTOR SHALL RE-NAIL WOOD DECK IN ACCORDANCE WITH THE CURRENT PROVISIONS OF CHAPTER 9 (HIGH VELOCITY HURRICANE ZONES) OF THE FLORIDA BUILDING CODE.
5. ROOFING SYSTEMS NOTED WITHIN ARE FOR BASIS AND DESIGN AND ARE SPECIFIED TO ESTABLISH PROJECT STANDARDS.
6. ROOFER MUST BE AN OUEMS CORNING ROOFING PLATINUM PREFERRED CONTRACTOR.
7. MANUFACTURER SHALL INSPECT ROOFING INSTALLATION AS REQUIRED TO SATISFY WARRANTY TERMS.

SHOP DRAWING SUBMITTAL

- SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING ROOFING SYSTEMS. SHOP DRAWINGS SHALL INCLUDE AT A MINIMUM THE FOLLOWING:
- A. PRODUCT DATA: PROVIDE MANUFACTURER'S INFORMATION ON MEMBRANE MATERIALS, BASE FLASHING MATERIAL AND INSULATION INCLUDING DETAILS.
 - B. CALCULATIONS: MANUFACTURER SHALL PROVIDE WIND-UP LIFT DESIGN CRITERIA PER THE FLORIDA BUILDING CODE AND ASCE-7-98. INFORMATION SHALL BE PREPARED AND CERTIFIED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.
 - C. MANUFACTURER'S CERTIFICATE: CERTIFY THAT PRODUCTS MEET OR EXCEED SPECIFIED REQUIREMENTS.
 - D. SUPPLY FLORIDA PRODUCT APPROVAL OR MIAMI-DADE PRODUCT APPROVAL NOTICE OF ACCEPTANCE (NOA) APPROVAL FOR SELECTED SYSTEM.
 - E. MATERIAL SAFETY DATA SHEETS: PROVIDE MSDS FOR ALL ROOFING PRODUCTS SUBMITTED.

APPLICATOR'S WARRANTY NOTE:

THE ROOFING CONTRACTOR SHALL FURNISH WRITTEN WARRANTIES FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF PROJECT SUBSTANTIAL COMPLETION. THE ROOFER SHALL CERTIFY IN WRITING THAT SYSTEM HAS BEEN INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTION/NOA. AND WHEREAS ROOFING CONTRACTOR HAS CONTRACTED (EITHER DIRECTLY WITH OWNER OR INDIRECTLY AS A SUBCONTRACTOR) TO WARRANT SAID WORK AGAINST LEAKS, FAULTY OR DEFECTIVE MATERIALS, ROOFING COMPONENTS DEFECTED FAULTY OR IN DISREPAIR AND WORKMANSHIP FOR THE DESIGNATED WARRANTY PERIOD, DURING THE WARRANTY PERIOD THE CONTRACTOR WILL AT HIS/HER OWN EXPENSE MAKE OR CAUSE TO BE MADE SUCH REPAIRS TO OR REPLACEMENTS OF SAID WORK AS ARE NECESSARY TO CORRECT FAULTY AND DEFECTIVE WORK AND AS ARE NECESSARY TO MAINTAIN SAID WORK IN WATERTIGHT CONDITION. ROOFING CONTRACTOR SHALL BE AN APPROVED SYSTEM MANUFACTURER APPLICATOR.

PROJECT:

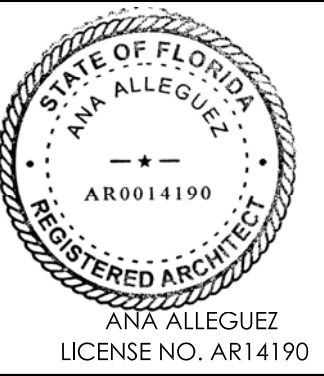
CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:
Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

ROOF
PLAN

SEAL



DATE: APRIL 15th, 2015

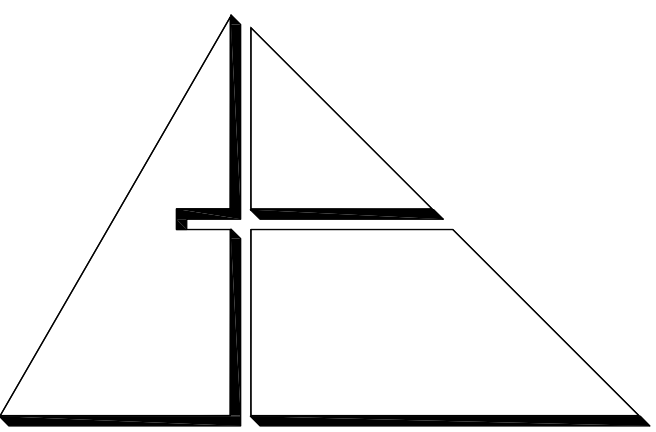
REVISED:

CAD DRAWING NAME:
1301 A-4.0.DWG

SHEET NO.

BID SET

A-4.0



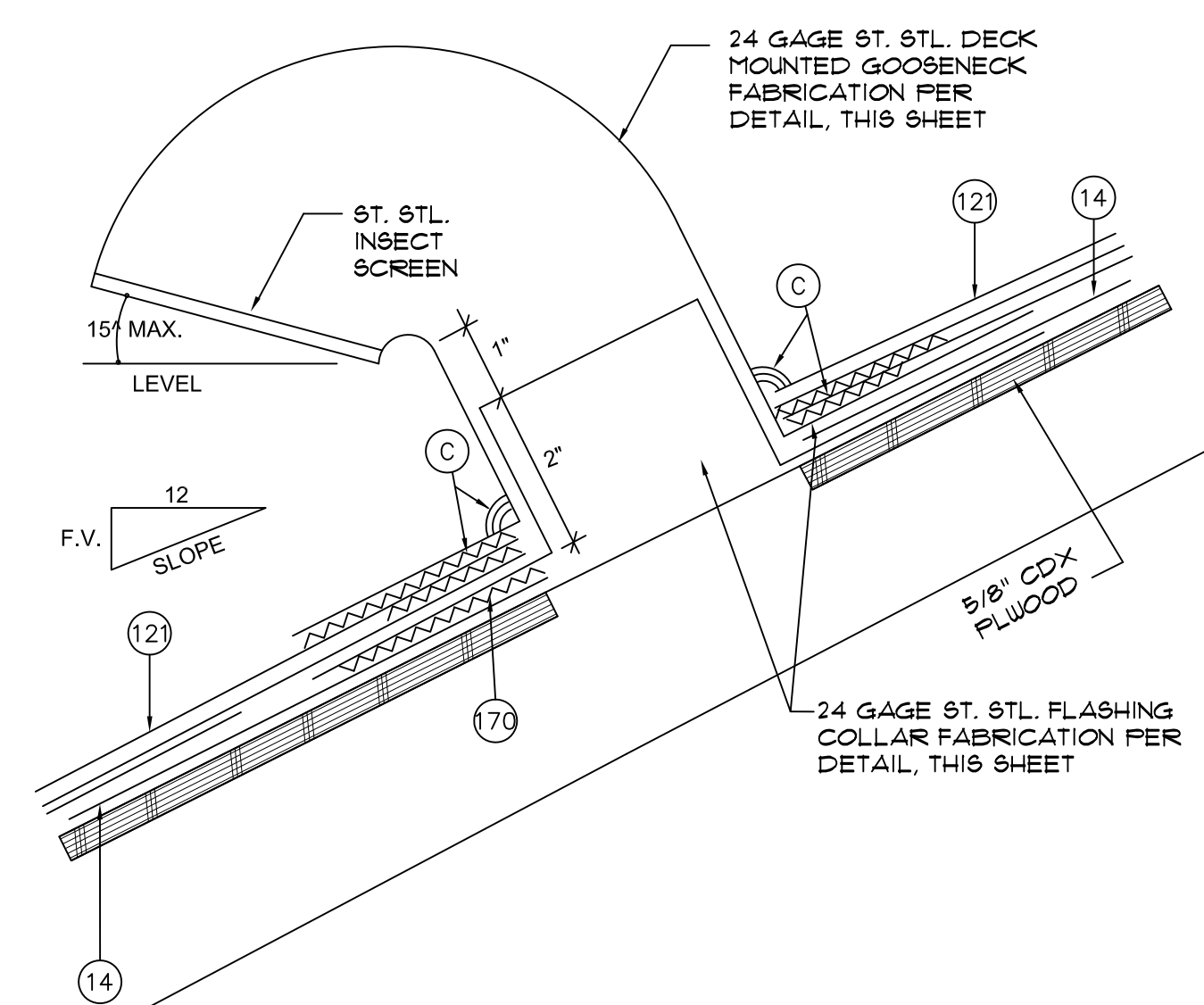
ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

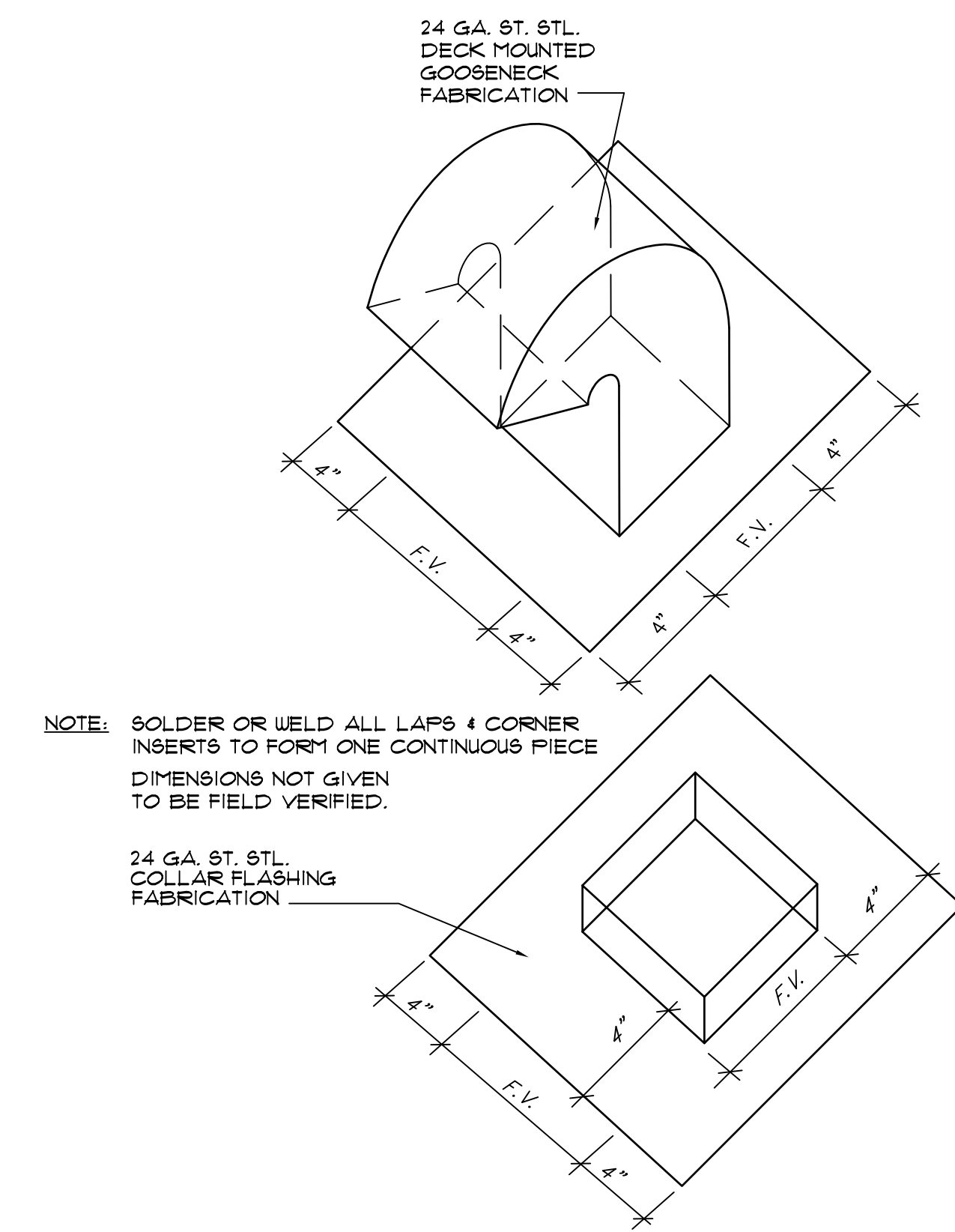
CONSULTANTS:

MECHANICAL ELECTRICAL PLUMBING ENGINEER:
GARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 356-8997 FAX: (305) 254-6496



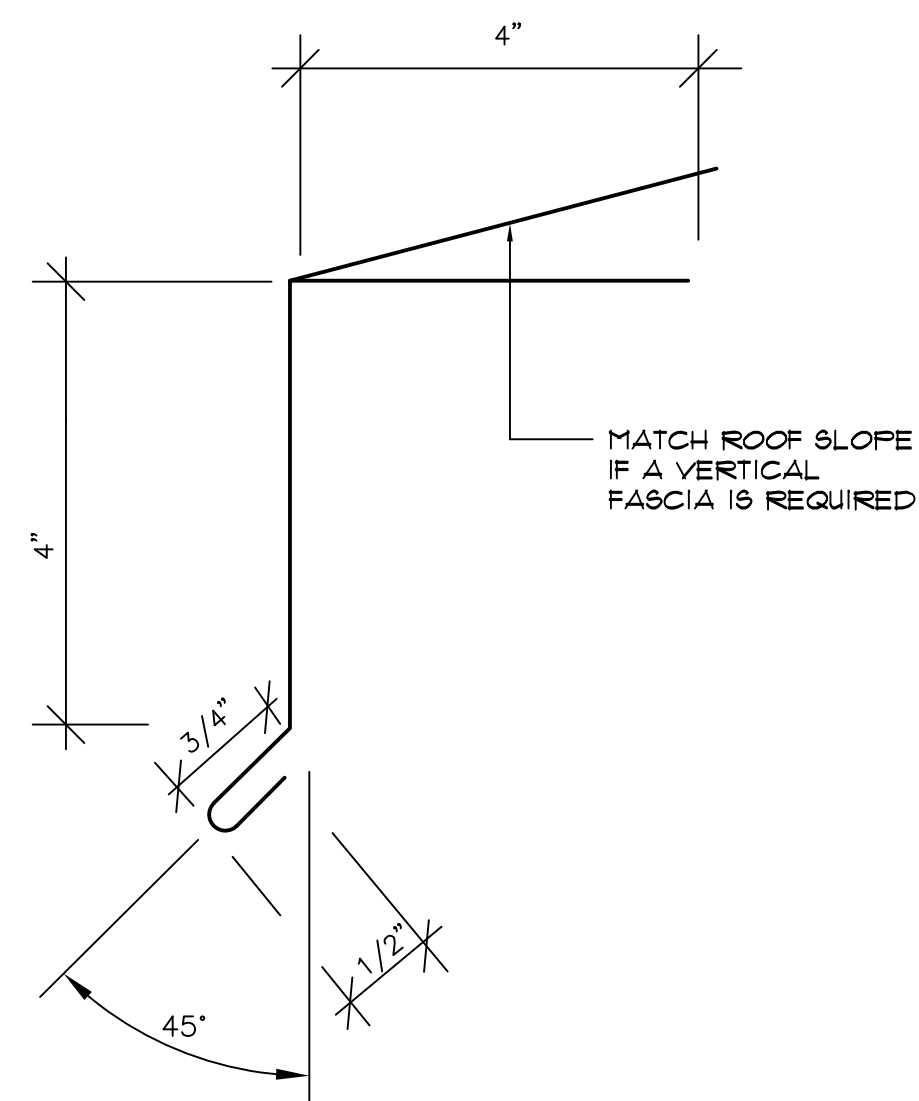
14. PRELIMINARY ROOF, SEE ROOF PLAN
121. NEW FIBERGLASS SHINGLES
170. SEALANT
C. FULL BED OF ROOFING CEMENT UNDER SHINGLES AND/OR FLASHING FLANGES.

GOOSENECK VENT FLASHING NTS

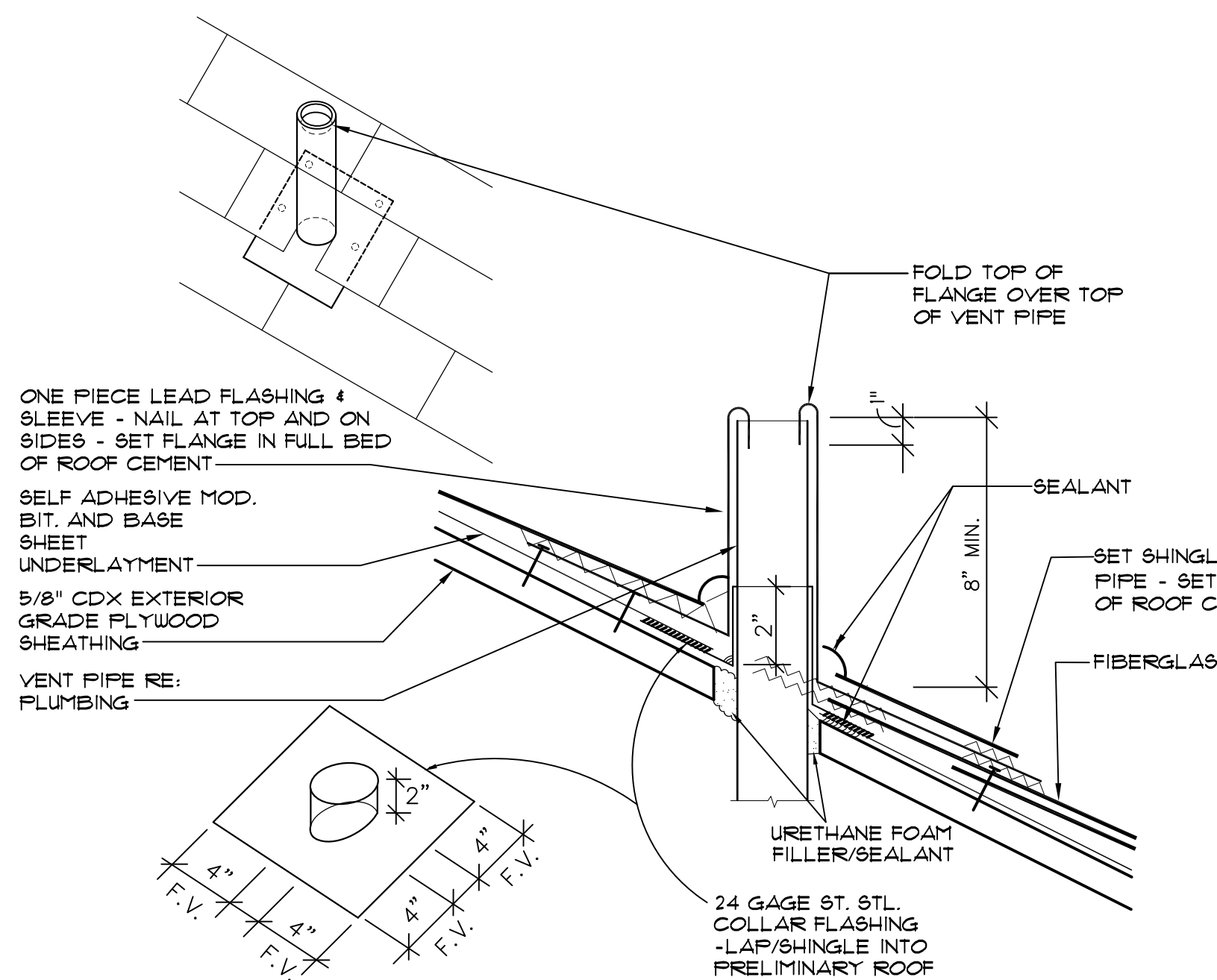


NOTE: SOLDER OR WELD ALL LAPS & CORNER INSERTS TO FORM ONE CONTINUOUS PIECE. DIMENSIONS NOT GIVEN TO BE FIELD VERIFIED.

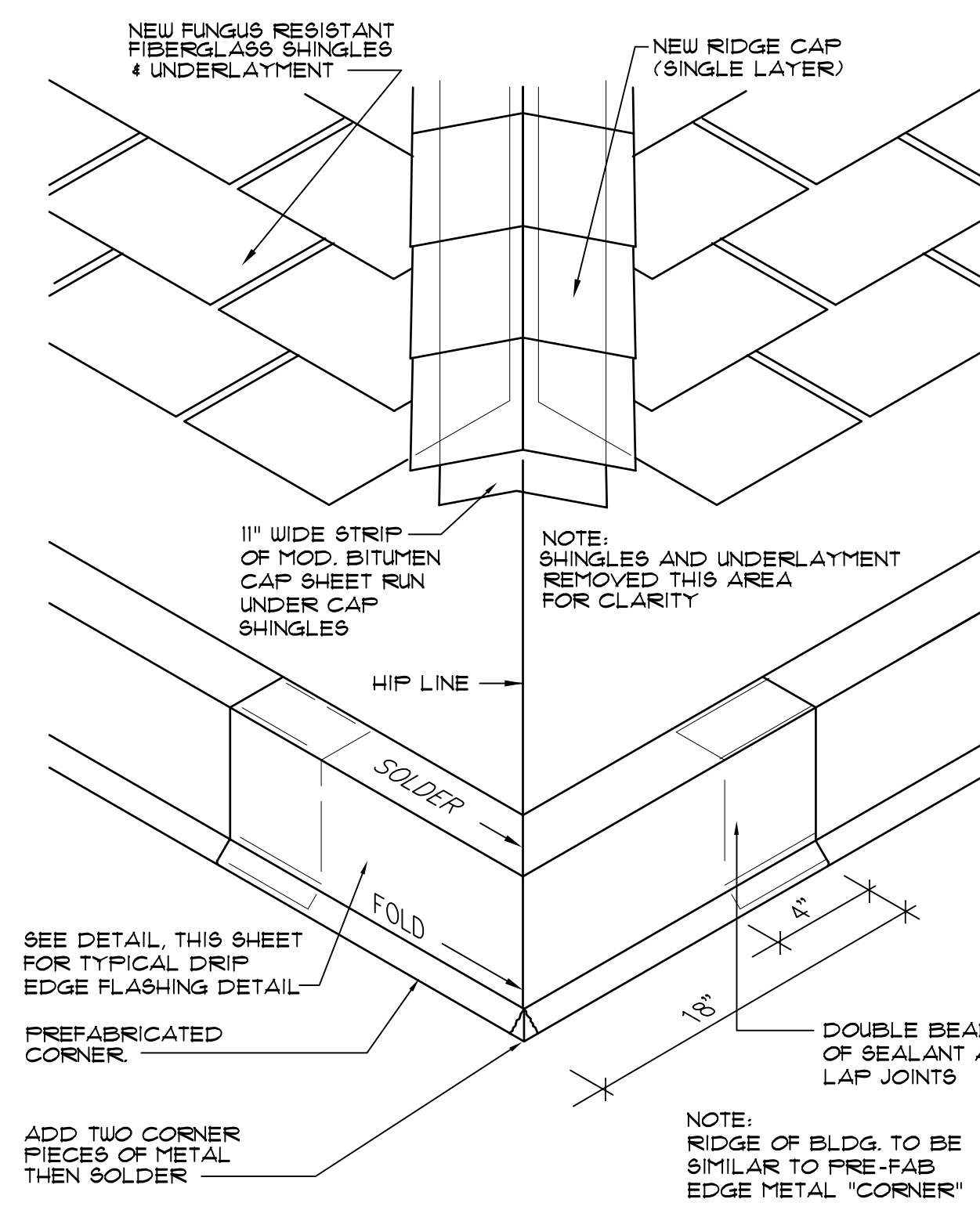
GOOSENECK VENT AND COLLAR FABRICATION DETAIL NTS



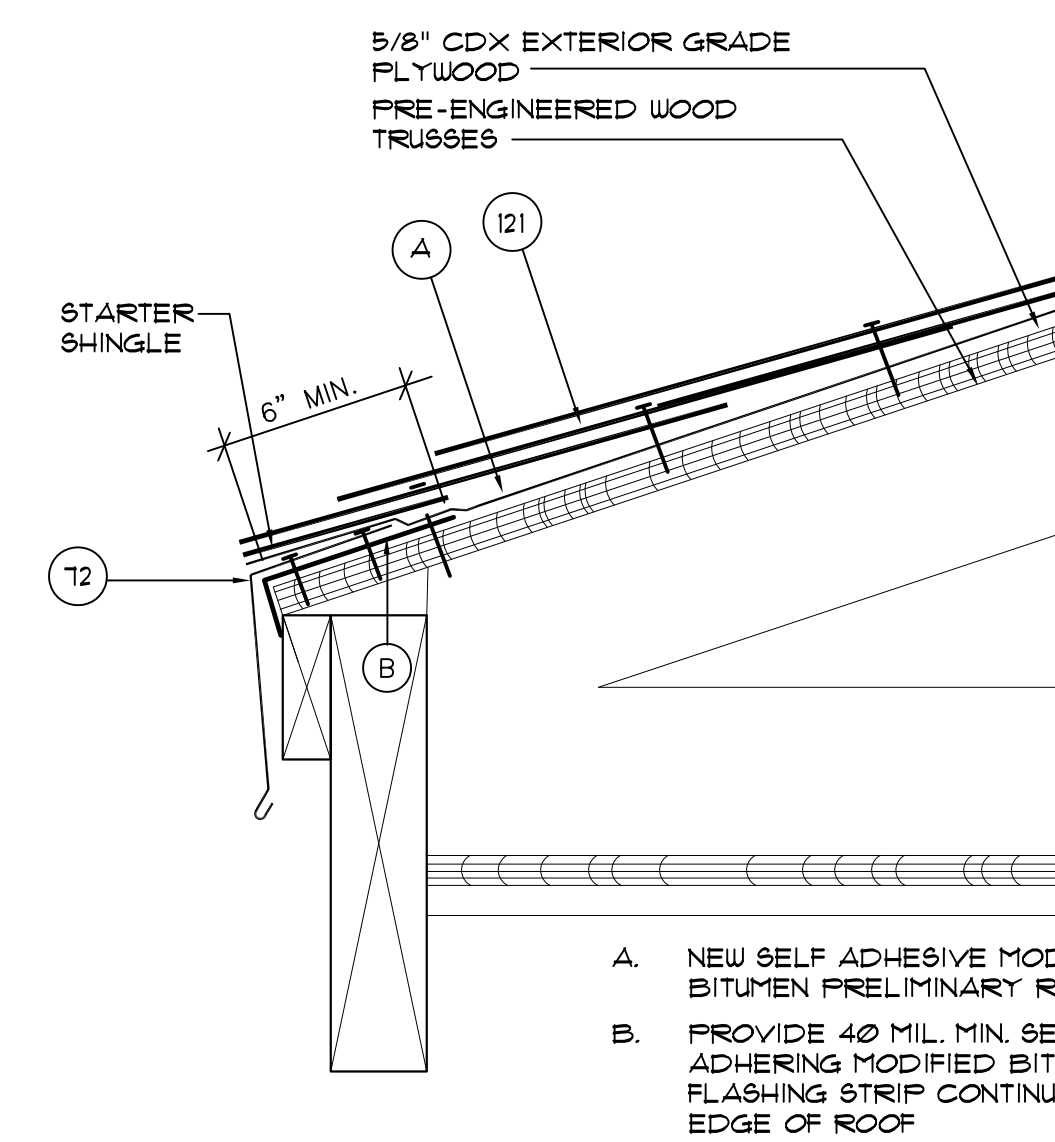
EAVE DRIP FABRICATION DETAIL NTS



VENT PIPE DETAIL NTS



HIP RIDGE FLASHING AND CORNER EDGE METAL NTS



12. EDGE METAL - SEE DETAIL, THIS SHEET.
121. FUNGUS RESISTANT FIBERGLASS SHINGLES
NOTE: FASTENERS FOR EDGE METAL TO BE 1-1/4\"/>

DRIP EDGE FLASHING NTS

PROJECT:

**CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.**

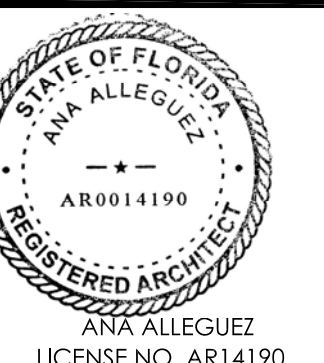
Owner's Representative:

Lori B. Soto
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

**ROOF
DETAILS**

SEAL



DATE: APRIL 15th, 2015

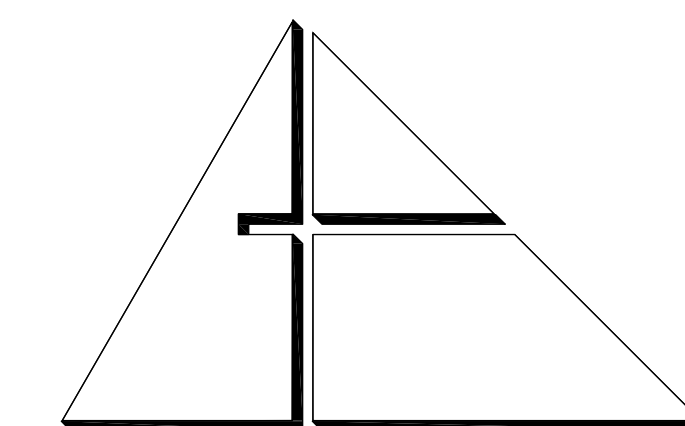
REVISED:

CAD DRAWING NAME:
1301 A-4.1.DWG

SHEET NO.

BID SET

A-4.1



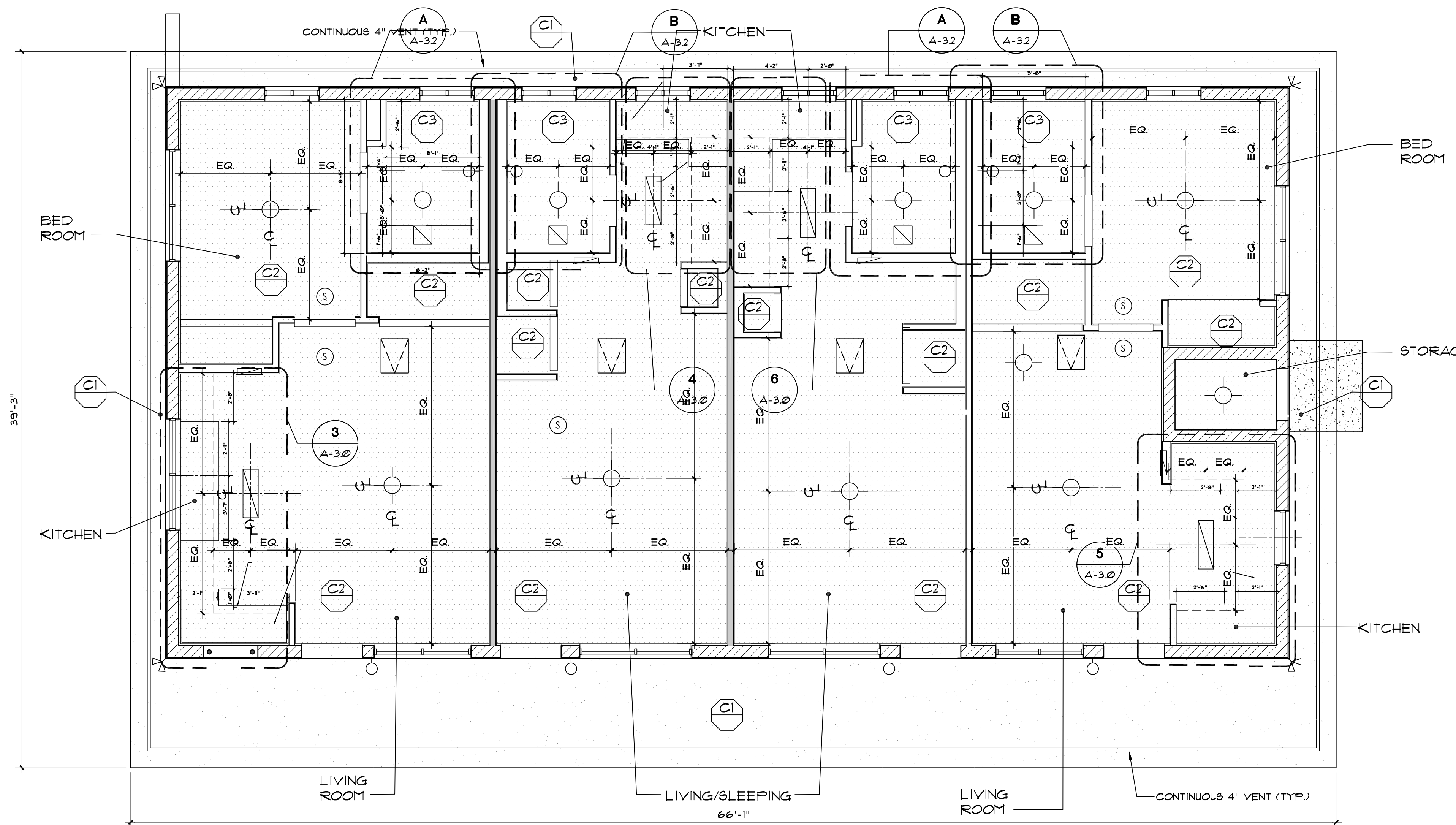
ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@beltsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:

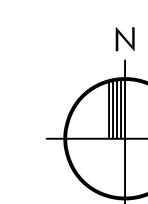
MECHANICAL ELECTRICAL PLUMBING ENGINEER:
GARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 356-8977 FAX: (305) 254-6476



REFLECTED CEILING PLAN

NOTE(S): 1. PROVIDE R-30 BATT INSULATION ABOVE CEILING (ALL ROOMS/AREAS.)

SCALE 1/4" = 1'



SYMBOL LEGEND

- CEILING MOUNTED LIGHT
- CEILING MOUNTED LIGHT
- EXHAUST FAN
- WALL MOUNTED LIGHT
- WALL MOUNTED LIGHT
- SMOKE DETECTOR
- ATTIC DOOR
- DRYWALL CEILING
- PLASTER/STUCCO
- BATHROOM EXHAUST

CEILING LEGEND

- STUCCO (PRIME + PAINT) OVER GALVANIZED METAL LATH ON 15-LB ROOFING FELT OVER 1/2" CDX PLYWOOD SHEATHING OVER EXISTING WOOD TRUSSES
- 5/8" GYPSUM WALL BOARD (PRIME + PAINT) OVER 1/8" METAL FURRING CHANNELS AT 1'-4" O.C. MECHANICALLY FASTENED TO UNDERSIDE OF TRUSSES.
- 5/8" MOISTURE RESISTANT GYPSUM BOARD (PRIME + PAINT) OVER 1/8" METAL FURRING CHANNELS AT 1'-4" O.C. MECHANICALLY FASTENED TO UNDERSIDE OF TRUSSES.

ATTIC ACCESS SPECIFICATION

MANUFACTURED: BATTIC DOOR ENERGY CONSERVATION PRODUCTS OR APPROVED EQUIVALENT.
MODEL: DELUXE E-2 HATCH ATTIC ACCESS SCUTTLE DOOR R-42
SIZE: 22"x30" (FITS INTO 22 1/2" X 30 1/2" ROUGH OPENING
NOTE: ATTIC ACCESS DOOR SHALL BE PROVIDED WITH 4-POINT LOCKING LATCH + HANDLES

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:
Lori B. Soto

City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

REFLECTED
CEILING
PLAN

SEAL



DATE: APRIL 15th, 2015

REVISED:

CAD DRAWING NAME:

1301 A-5.0.DWG

SHEET NO.

BID SET

A-5.0

PLUMBING GENERAL NOTES

- UNLESS OTHERWISE SPECIFIED ON THIS DRAWING CONTRACTOR SHALL REFER TO ORIGINAL LANDLORD SPECIFICATIONS FOR ALL APPLICABLE REQUIREMENTS, NOTES, DETAILS, CONSTRUCTION'S STANDARDS, ETC., COORDINATE WITH LANDLORD REQUIREMENTS PRIOR TO ORDERING AND/OR INSTALLATION OF ANY EQUIPMENT AND ACCESSORIES SHOWN.
- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT PERMITS, FEES, INSPECTIONS, TEST, INSURANCE, ETC., REQUIRED FOR THE COMPLETION OF THE PLUMBING SYSTEM SHOWN ON DRAWINGS OR LISTED BELOW.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING PIPES BEFORE COMMENCING TO WORK AND MAKE MODIFICATIONS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL PIPING SHALL BE INSTALLED RECESSED IN CHASES, FURRING OR PARTITIONS.
- EXISTING PIPES SERVING AREAS NOT COVERED BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED EXCEPT AS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER AND LANDLORD.
- PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
- PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
- COORDINATE ALL WORK WITH OTHER TRADES.
- PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- PROVIDE SHOCK ABSORBERS SIZE, QUANTITY AND LOCATION AS PER P.D.I. STANDARDS.
- PROVIDE SHUT-OFF VALVE FOR EACH GROUP OF FIXTURE AND EACH FIXTURE SUPPLY. WATER DISTRIBUTION VALVES 2" AND SMALLER VALVES ARE TO BE TEFLON SEATED, BRONZE BODY, FULL PORT BALL VALVES.
- WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL ROUGH-IN'S WITH THE MANUFACTURER BEFORE MAKING ANY INSTALLATION.
- POTABLE HOT AND COLD WATER SYSTEMS SHALL BE "LEAD FREE" WITH LEAD CONTENT NOT EXCEEDING 0.2 PERCENT FOR SOLDER AND FLUXES AND 8 PERCENT FOR PIPE FITTINGS, FITTINGS AND TRIM. CONTRACTOR SHALL VERIFY MANUFACTURER'S COMPLIANCE.
- ALL POTABLE HOT AND COLD WATER SYSTEMS SHALL BE FLUSHED CLEAR, STERILIZED WITH AN APPROVED SOLUTION AND THOROUGHLY FLUSHED OF ALL RESIDUAL SOLUTION AFTER FINAL PRESSURE TESTS AND WITH ALL TRIM AND CONNECTIONS INSTALLED.
- PROVIDE SHUT-OFF AND VACUUM BREAKER TO ALL HOSE BIBBS AND FAUCETS WITH HOSE-END CONNECTIONS. ALL EXTERIOR HOSE BIBBS ARE TAMPER PROOF.
- ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT THE SEAL OF THE TRAP.
- PVC PIPING IS NOT ALLOWED IN RETURN AIR PLENUMS; IF RETURN AIR PLENUMS ARE USED, CONTRACTOR SHALL REPLACE ALL EXISTING PVC PIPING WITH CAST IRON OR COPPER PIPING.
- DRAINAGE SYSTEM DESIGN IS BASED ON 1/8" PER FOOT MINIMUM FALL FOR PIPES 3" OR LARGER AND 1/4" PER FOOT MINIMUM FALL FOR PIPES 2" OR SMALLER, ANY DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER.
- ALL VENT THROUGH ROOF OPENINGS SHALL BE OFFSETED TO A MINIMUM DISTANCE OF 3'-0" FROM PARAPET WALL OR ROOF EDGE. SEE ARCHITECTURAL DRAWINGS FOR ROOF FLASHING. LEAD FLASHING WILL NOT BE ACCEPTED.
- COORDINATE SCHEDULING OF ALL REQUIRED INSPECTIONS WITH APPROPRIATE REGULATORY BODIES.
- ALL FIRE RATED WALL PENETRATIONS SHALL BE PROTECTED WITH A UL APPROVED FIRE STOPPING ASSEMBLY SYSTEM.
- CONDENSATE DRYWELL SHALL BE LOCATED MINIMUM 1 FOOT AWAY FROM THE STRUCTURE SIDEWALL, CONTRACTOR TO COORDINATE EXACT LOCATION IN FIELD.

NOTE:
ALL PLUMBING FIXTURES SHALL COMPLY WITH TABLE 604.4 FBC - PLUMBING FOR " MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS"

PLUMBING DEMOLITION NOTES

- SITE INVESTIGATION:**
EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK; THE CONTRACTOR AND SUBCONTRACTOR IS REQUIRED, BEFORE SUBMITTING HIS/HER PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIMSELF/HERSELF WITH THE NATURE AND EXTENT OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS AND LABOR REQUIRED THEREFOR, SINCE THE WORK INVOLVES EXISTING BUILDINGS, SYSTEMS AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, EXISTING FACILITIES AND ALL BUILDING STRUCTURES TO FAMILIARIZE HIMSELF/HERSELF WITH ALL EXISTING CONDITIONS, SLIGHT VARIATION OF ROUTING AND OR CONSTRUCTIONS SHOULD BE ANTICIPATED BY THIS CONTRACTOR TO AVOID CONFLICTS WITH OTHER TRADES ARE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IGNORANCE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM/HER OF THE OBLIGATIONS AND RESPONSIBILITIES ASSUMED UNDER THIS CONTRACT.
- THE NATURE OF THE REMODEL TYPE CONSTRUCTION POSES SPECIAL PROBLEMS FOR THE DESIGNER ENGINEERS AS WELL AS THE PLUMBING CONTRACTOR. EVERY EFFORT HAS BEEN MADE BY THE ENGINEERS TO SHOW AND VERIFY, WHERE POSSIBLE, THE LOCATION OF THE EXISTING PLUMBING SYSTEMS. THE MAJOR PORTION OF THE PLUMBING SYSTEMS ARE AS SHOWN ON THE DRAWINGS; HOWEVER MINOR DEVIATIONS MAY BECOME EVIDENT AS THE JOB PROGRESSES. NO ADVANTAGE IS TO BE TAKEN BY THE PLUMBING CONTRACTOR BECAUSE THESE MINOR DIFFERENCES; PLUMBING CONTRACTOR SHALL PERFORM A FIELD VERIFICATION BEFORE BIDDING THIS PROJECT.
- CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING HIS/HER DEMOLITION WORK WITH OTHER TRADES, AND TO PROTECT FROM DAMAGE EXISTING PIPES USED FOR FUTURE CONNECTIONS.
- CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH AND CONDITION OF ALL EXISTING PIPES, IN EACH UNIT, INCLUDING THROUGH THE USE OF VIDEO INSPECTION.
ANY AND ALL DEFICIENCIES ENCOUNTERED THAT MAY NEGATIVELY IMPACT THE PLUMBING DESIGN, RESULTING IN ADDITIONAL CONSTRUCTION COSTS, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF A.E. FOR CONSIDERATION AND APPROVAL PRIOR TO SUCH TASKS BEING PERFORMED.
- EXISTING PIPES SERVING AREAS NOT COVER BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED UNLESS IT IS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER.
- PLUMBING CONTRACTOR SHALL CAP ALL UNUSED DRAINAGE SYSTEMS BELOW FINISHED FLOOR AND REMOVE ALL UNUSED PORTIONS ABOVE GROUND AND ALL ASSOCIATED ACCESSORIES AND TRIMS.
- PLUMBING CONTRACTOR SHALL CAP ALL UNUSED DOMESTIC HOT AND COLD WATER LINES AT BRANCH VALVES FROM MAIN DISTRIBUTION LINES AND REMOVE ALL UNUSED PIPING, HANGERS AND ACCESSORIES.
- ALL CAPPED PLUMBING LINES SHALL BE INSPECTED PRIOR TO COVERING

PLUMBING SPECIFICATION

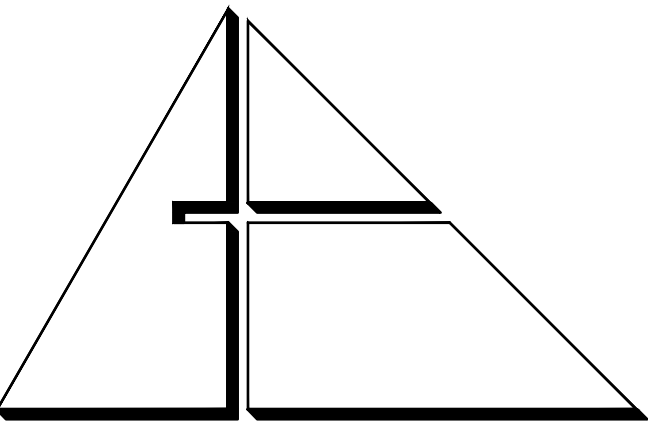
- GENERAL:**
MATERIAL SHALL BE NEW, UNUSED, BEST OF THEIR RESPECTIVE KINDS AND FREE FROM DEFECTS IN WORKMANSHIP; IN CONFORMANCE WITH THE LATEST PUBLICATIONS IN FORCE AT TIME OF BIDDING.
- PIPE AND FITTINGS:**
 - SANITARY SOIL AND VENT PIPING: SERVICE WEIGHT CAST IRON BELL AND SPIGOT PIPE AND FITTINGS, ASTM A74 - LATEST EDITION, NO HUB CAST IRON PIPE AND FITTINGS, OSP# 301-LATEST EDITION, PIPE AND FITTINGS SHALL BE MARKED WITH THE COLLECTIVE TRADEMARK OF THE CAST IRON SOIL PIPE INSTITUTE, OR DWV COPPER PIPE WITH CAST BRASS OR WROUGHT COPPER SOLDER JOINT FITTINGS, ASTM B306-79, (ABOVE GROUND), VENTING AS HEREIN BEFORE SPECIFIED OR GALVANIZED THREADED STEEL WITH MALLEABLE IRON FITTINGS.
 - DOMESTIC WATER SUPPLY PIPING: COPPER PIPE TYPE 'L' WITH BRONZE OR WROUGHT COPPER SOLDER JOINT FITTINGS, ASTM B88-78.
 - CONDENSATE PIPING: AS HEREIN BEFORE SPECIFIED FOR SANITARY SOIL, WASTE AND VENT PIPING.
- ALTERNATE:**
 - SANITARY SOIL/ STORM DRAINAGE BELOW GROUND: SCHEDULE 40 SOLID PLASTIC PVC PIPE, ASTM D1785.
- JOINTS AND METHODS OF CONNECTION:**
 - CAST IRON BELL AND SPIGOT PIPE: COMPRESSION GASKET, INSTALL PER MANUFACTURER'S RECOMMENDATION. GASKET AND PIPE BY SAME MANUFACTURER.
 - CAST IRON NO-HUB PIPE: MAKE JOINTS WITH NEOPRENE RUBBER SLEEVE AND STAINLESS STEEL RING CLAMP PER MANUFACTURER'S RECOMMENDATIONS. GASKET AND PIPE BY SAME MANUFACTURER.
 - DWV COPPER PIPE: JOINT WITH 95-5 TIN-ANTIMONY SOLDER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - TYPE 'L' COPPER TUBE: JOIN WITH 95-5 TIN-ANTIMONY SOLDER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - STEEL PIPE:
 - THREADED JOINTS: AFTER CUTTING AND BEFORE THREADING, REAM ALL PIPE AND REMOVE BURRS. MAKE JOINTS WITH JOINT COMPOUND APPLIED TO MALE THREADS ONLY.
 - FLANGED JOINTS: STANDARD WEIGHT, 150 P.S.I. STEEL, WITH APPROVED RED RUBBER GASKET OR NEOPRENE RUBBER GASKET, INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- SCHEDULE 40 PVC MOLDED PREFORMED FITTINGS, PVC-DWV, SOCKET SOLVENT CEMENT, ASTM D-2467**
- UNIONS AND FLANGES:**
 - COPPER PIPE: BRONZE UNIONS FOR 2 INCHES AND SMALLER, FOR 2-1/2 INCHES AND LARGER USE BRONZE FLANGED CONNECTIONS 150 POUND CLASS.
 - DIELECTRIC UNIONS OR FLANGES: UNIONS SHALL MEET DIMENSIONAL REQUIREMENTS AND TENSILE STRENGTH OF PIPE UNIONS IN ACCORDANCE WITH FED. SPEC. WW-1-531E UNIONS OR FLANGES SHALL BE SUITABLE FOR REQUIRED OPERATING PRESSURES AND TEMPERATURE CONDITIONS. UNIONS SHALL HAVE METAL CONNECTIONS ON BOTH ENDS. ENDS SHALL BE THREADED OR SOLDERED TO MATCH ADJACENT PIPING. METAL PARTS OF UNION OR FLANGED SHALL BE SEPARATED TO PREVENT CURRENT FLOW BETWEEN DISSIMILAR METALS. EPCO DIELECTRIC PIPE FITTINGS OR EQUIVALENT.
- ESCUTCHEONS:**
 - CHROME PLATED OR STAINLESS STEEL WITH SET SCREWS FOR HOLDING SECURELY IN PLACE. USE ESCUTCHEONS ON PIPES PASSING THROUGH WALLS, FLOORS AND CEILING OF FINISHED AREAS.
- PIPE INSULATION:**
 - ALL CONDENSATE LINES SHALL BE INSULATED WITH 3/4" FIRE RETARDANT ARMAFLEX INSULATION WITH A MAXIMUM OF 25/50 FLAME SPREAD AND SMOKE DEVELOPED RESPECTIVELY.
 - ALL HOT WATER LINES SHALL BE INSULATED WITH 1" FIRE RETARDANT ARMAFLEX INSULATION WITH A MAXIMUM OF 25/50 FLAME SPREAD AND SMOKE DEVELOPED RESPECTIVELY.
 - ALL PLUMBING PIPES AT THE STAGE AND SEATING AREAS SHALL BE INSULATED WITH 1" FIRE RETARDANT ARMAFLEX INSULATION WITH A MAXIMUM OF 25/50 FLAME SPREAD AND SMOKE DEVELOPED RESPECTIVELY.

PLUMBING LEGEND

---	SAN	SANITARY DRAIN
---	V	SANITARY VENT LINE
---	SD	STORM DRAIN
---	CD	CONDENSATE DRAIN LINE
P&T	PTR	PRESSURE AND TEMPERATURE RELIEF LINE
G	G	GAS LINE
---	CW	COLD WATER LINE
---	ICW	IRRIGATION COLD WATER LINE
---	HW	HOT WATER LINE
---	HWR	HOT WATER RECIRCULATING LINE
●	BV	FULL PORT-BRONZE/BRASS TEFLON SEATED BALL VALVE
⊥	CV	CHECK VALVE
⊥		BALANCING VALVE
⊥	VV	VALVE IN RISER
⊥	HB	HOSE BIBB W/ VACUUM BREAKER
⊥	AC	AIR CHAMBER
⊥	SA	SHOCK ARRESTOR (P.D.I. SIZE 'A' TYPICAL UNLESS NOTED OTHERWISE.)
⊥	CO	CLEAN-OUT PLUG
⊥	WCO	WALL CLEAN-OUT
⊥	ONTE	CONNECT TO EXISTING
⊥	FD	FLOOR DRAIN
⊥	RD	ROOF DRAIN
⊥	ORD	EMERGENCY OVERFLOW ROOF DRAIN
⊥	VTR	VENT THRU ROOF ACCESS PANEL
⊥	AF	FUEL OIL SUPPLY
⊥	FOR	FUEL OIL RETURN
⊥	FOV	FUEL OIL VENT
⊥	CO	CLEAN OUT
⊥	WCO	WALL CLEAN OUT
⊥	FCO	FLOOR CLEAN OUT
⊥	CTC	CLEAN OUT TO GRADE
⊥	FIC	FIRE DEPT. CONN. (SIAMSE)
⊥	FH	FIRE HYDRANT
⊥	FHC	FIRE HOSE CABINET
⊥	PVC	FIRE VALVE CABINET W/ HFV
⊥	FEC	FIRE EXTINGUISHER CAB. W/ FE
⊥	FE	FIRE EXTINGUISHER
⊥	FE	FIRE EXT. CARBON DIOXIDE
⊥	WH	WATER HEATER
⊥	UG	UNDER GROUND
⊥	DIP	DUCTILE IRON PIPE
⊥	CMP	CORRUGATED METAL PIPE
⊥	CP	CAST IRON PIPE
⊥	TP	TRAP PRIMER (RESEALER)
⊥	A/C	AIR CONDITIONER THERMOMETER
⊥	TH	FIRE HOSE VALVE
⊥	FHV	AIR HANDLING UNIT
⊥	AHU	CEILING
⊥	CLE	UNDERGROUND
⊥	UG	RAIN WATER LEADER
⊥	RWL	

PLUMBING FIXTURE CONNECTION SCHEDULE						
SYMBOL	DESCRIPTION	DRAIN	COLD WATER	HOT WATER	MANUFACTURER/MODEL	TRIM
P-1	WATER CLOSET	4"	1/2"	---	AMERICAN STANDARD "CADET" 3 FLOWISE RIGHT HEIGHT #2835.128.020 VITREOUS CHINA, LOW CONSUMPTION, 1.28 GPF, ELONGATED SIPHON JET FLUSH ACTION 16-1/2" RIM HEIGHT.	CLOSE-COUPLED TANK, CHROME FINISH TRIP LEVER CENTOCO #205T5.001 HEAVY DUTY TOILET SEAT, FOR ELONGATED BOWL. OPEN FRONT SEAT. SUPPLY: MCGUIRE BV172 TOILET SUPPLY, CHROME FINISH POLISHED BRASS WITH ESCUTCHEON AND STAINLESS STEEL BRAIDED RISER. FLOOR FLANGE WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.
P-1H	WATER CLOSET (HANDICAP)	4"	1/2"	---	AMERICAN STANDARD "CADET" 3 FLOWISE RIGHT HEIGHT #2835.128.020 VITREOUS CHINA, LOW CONSUMPTION, 1.28 GPF, ELONGATED SIPHON JET FLUSH ACTION 16-1/2" RIM HEIGHT.	CLOSE-COUPLED TANK, CHROME FINISH TRIP LEVER CENTOCO #205T5.001 HEAVY DUTY TOILET SEAT, FOR ELONGATED BOWL. OPEN FRONT SEAT. SUPPLY: MCGUIRE BV172 TOILET SUPPLY, CHROME FINISH POLISHED BRASS WITH ESCUTCHEON AND STAINLESS STEEL BRAIDED RISER. FLOOR FLANGE WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.
P-2	LAWATORY	1 1/4"	1/2"	1/2"	AMERICAN STANDARD "DECLYNE" #0321.075 FOR CONCEALED ARMS SUPPORTS, WALL HUNG, 4" CENTERS, VITREOUS CHINA, REAR OVERFLOW, SOAP DEPRESSION, FAUCET LEDGE. CARRIER: WATTS TCA-411 SINGLE CARRIER	FAUCET: AMERICAN STANDARD MODEL 8115F, 4" CENTER, SINGLE LEVER FAUCET, POLISHED CHROME FINISH, SPEED CONNECT POP-UP DRAIN, ADA COMPLIANT. DRAIN: AMERICAN STANDARD POP-UP DRAIN AND TAILPIECE DRAIN: MCGUIRE #8872C POLISHED CHROME FINISHED BRASS P-TRAP WITH CLEAN OUT PLUG AND ESCUTCHEON. SUPPLY: MCGUIRE # BV170 FAUCET SUPPLY, CHROME FINISH POLISHED BRASS WITH ESCUTCHEON AND FLEXIBLE COPPER RISER.
P-2H	LAWATORY-ADA FOR ADA HEIGHT REFERS TO ARCHITECTURAL DRAWINGS	1 1/4"	1/2"	1/2"	AMERICAN STANDARD "DECLYNE" #0321.075 FOR CONCEALED ARMS SUPPORTS, WALL HUNG, 4" CENTERS, VITREOUS CHINA, REAR OVERFLOW, SOAP DEPRESSION, FAUCET LEDGE. CARRIER: WATTS TCA-411 SINGLE CARRIER	FAUCET: AMERICAN STANDARD MODEL 8115F, 4" CENTER, SINGLE LEVER FAUCET, POLISHED CHROME FINISH, SPEED CONNECT POP-UP DRAIN, ADA COMPLIANT. DRAIN: AMERICAN STANDARD POP-UP DRAIN AND TAILPIECE DRAIN: MCGUIRE #155 WCO OFFSET OPEN GRID DRAIN DRAIN:MCGUIRE #8872C POLISHED CHROME FINISHED BRASS P-TRAP WITH CLEAN OUT PLUG AND ESCUTCHEON. SUPPLY: MCGUIRE # BV170 FAUCET SUPPLY, CHROME FINISH POLISHED BRASS WITH ESCUTCHEON AND FLEXIBLE COPPER RISER. INSULATION: TPW2000WC PROWRAP VANDAL RESISTANT SANITARY COVERING, FLEXIBLE SEAMLESS MOLDED CLOSED-CELL PVC RESIN, FORMULATED WITH ANTI-MICROBIAL ADDITIVE. (ADA ONLY)
P-3	SHOWER	2"	1/2"	1/2"		FAUCET: AMERICAN STANDARD #1385.501/R120SS, PRESSURE BALANCING MIXING VALVE, BRASS BODY, WASHERLESS CERAMIC DRIP-FREE DISC VALVE CARTRIDGE, INTEGRAL HOT LIMIT STOP, SCREW DRIVERS STOPS, METAL WALL ESCUTCHEON, METAL LEVER HANDLE, 1.5 GPM CHROME PLATED HAND SHOWER WITH FLEXIBLE METAL HOSE, 1660.400 IN-LINE VACUUM BREAKER, WALL SUPPLY, AND 36" SLIDE BAR. DRAIN: WATTS#FD-100-A-2" FLOOR DRAIN OUTLET.
P-3H	SHOWER (HANDICAP)	2"	1/2"	1/2"		FAUCET: AMERICAN STANDARD #1385.500/R120SS, PRESSURE BALANCING MIXING VALVE, BRASS BODY, WASHERLESS CERAMIC DRIP-FREE DISC VALVE CARTRIDGE, INTEGRAL HOT LIMIT STOP, SCREW DRIVERS STOPS, METAL WALL ESCUTCHEON, METAL LEVER HANDLE, AMERICAN STANDARD 1662.604 WATER-SAVING SPRAY HAND SHOWER 1.5 GPM CHROME PLATED HAND SHOWER WITH FLEXIBLE METAL HOSE, 1660.400 IN-LINE VACUUM BREAKER, WALL SUPPLY, AND 36" SLIDE BAR. DRAIN: WATTS#FD-100-A-2" FLOOR DRAIN OUTLET.
P-4	SINK (SINGLE COMP.)	1 1/2"	1/2"	1/2"	ELKAY MODEL PSR01918 TOP MOUNT SINK NICKEL BEARING STAINLESS STEEL, GAUGE 20, 3 HOLES FAUCET, 19" X 18" X 7 1/8" OVERALL SIZE, SATIN FINISH, FULLY UNDERCOATED, 3 1/2" DRAIN OPENING	FAUCET: ELKAY LK1000CR, SINGLE LEVER FAUCET, 3 HOLES REQUIRED, CERAMIC DISC CARTRIDGE, OVERALL HEIGHT 7 1/2", SPOUT REACH 8" DRAIN: ELKAY #LK-35 BASKET STRAINER, CHROME PLATED CAST BRASS WITH TAILPIECE, MCGUIRE# #8912 POLISHED CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT PLUG AND ESCUTCHEON. MCGUIRE#BV170 FAUCET SUPPLIES, CHROME FINISH, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOP.
P-4H	SINK-ADA (SINGLE COMP.)	1 1/2"	1/2"	1/2"	ELKAY MODEL PSR00191955L SELF-RIMMING SINK NICKEL BEARING STAINLESS STEEL, GAUGE 20, 3 HOLES FAUCET, 19 1/2" X 19" X 5 1/2" OVERALL SIZE, SATIN FINISH, FULLY UNDERCOATED, 3 1/2" DRAIN OPENING.	FAUCET: ELKAY LK1000CR, SINGLE LEVER FAUCET, 3 HOLES REQUIRED, CERAMIC DISC CARTRIDGE, OVERALL HEIGHT 7 1/2", SPOUT REACH 8" DRAIN: ELKAY #LK-35 BASKET STRAINER, CHROME PLATED CAST BRASS WITH TAILPIECE, MCGUIRE# #8912 POLISHED CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT PLUG AND ESCUTCHEON. MCGUIRE#BV170 FAUCET SUPPLIES, CHROME FINISH, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOP. INSULATION: TPW2000WC PROWRAP VANDAL RESISTANT SANITARY COVERING, FLEXIBLE SEAMLESS MOLDED CLOSED-CELL PVC RESIN, FORMULATED WITH ANTI-MICROBIAL ADDITIVE.
P-5	CLOTHES WASHER	2"	1/2"	1/2"		ACORN HOSE VALVE#8131-OR STRAIGHT NOSE WITH VACUUM BREAKER OATEY # 38928 CENTER DRAIN WASHING MACHINE BOX.
WH-1	WATER HAMMER ARRESTORS	---	1/2"	1/2"		WATTS PDI CERTIFIED, PRECHARGED DRAWN COPPER
WCO	WALL CLEANOUT	2"	---	---		WATTS LINE CLEANOUT #CO-450-RD
FCO	GRADE CLEANOUT	4"	---	---		WATTS ACCESS HOUSING #CO-300-MF

WATER HEATER SCHEDULE							
MARK	CAP. GAL.	HEATING SOURCE	ELEMENTS	KW. OR BTUH	VOLTAGE	EF	REMARKS
EWH-1 UNITS #1,2,3,4	30	ELECTRICAL	SINGLE	4.5 KW	240 V, 1PH, 60HZ	0.95	LOCHINVAR MODEL JRA030KS



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

GARTER ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155

TEL: (305) 364-8997 FAX: (305) 254-9496

Certificate of Authorization #3144

www.garter-engineering.com

Gartek Project No. 2867

This document and the information it contains is the exclusive property of Gartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Gartek Engineering.

PROJECT:

CITY OF MIAMI LIFE QUEST RENOVATIONS 1301 N.E. 111 ST.

Owner's Representative:

Lori B. Solo

City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

PLUMBING NOTES SPECS., LEGEND, & SCHEDULES

SCALE:

ROBERT BETANCOURT P.E. (MECHANICAL)

LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE:

September 15,

2014

REVISED:

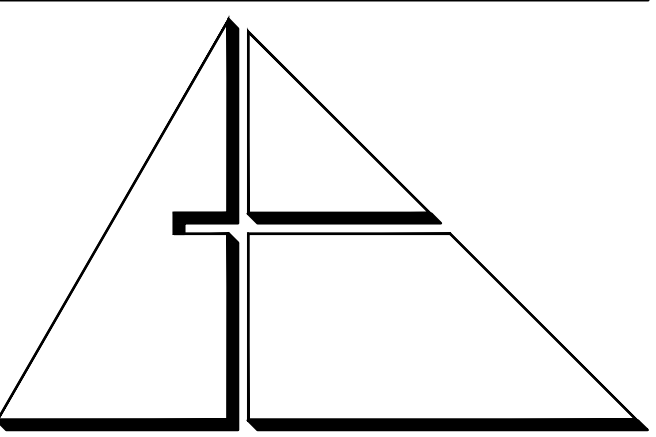
12-13-13 BLDG. DEPT. COMMENTS

CAD DRAWING NAME:

SHEET NO.

BID SET

P-1



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

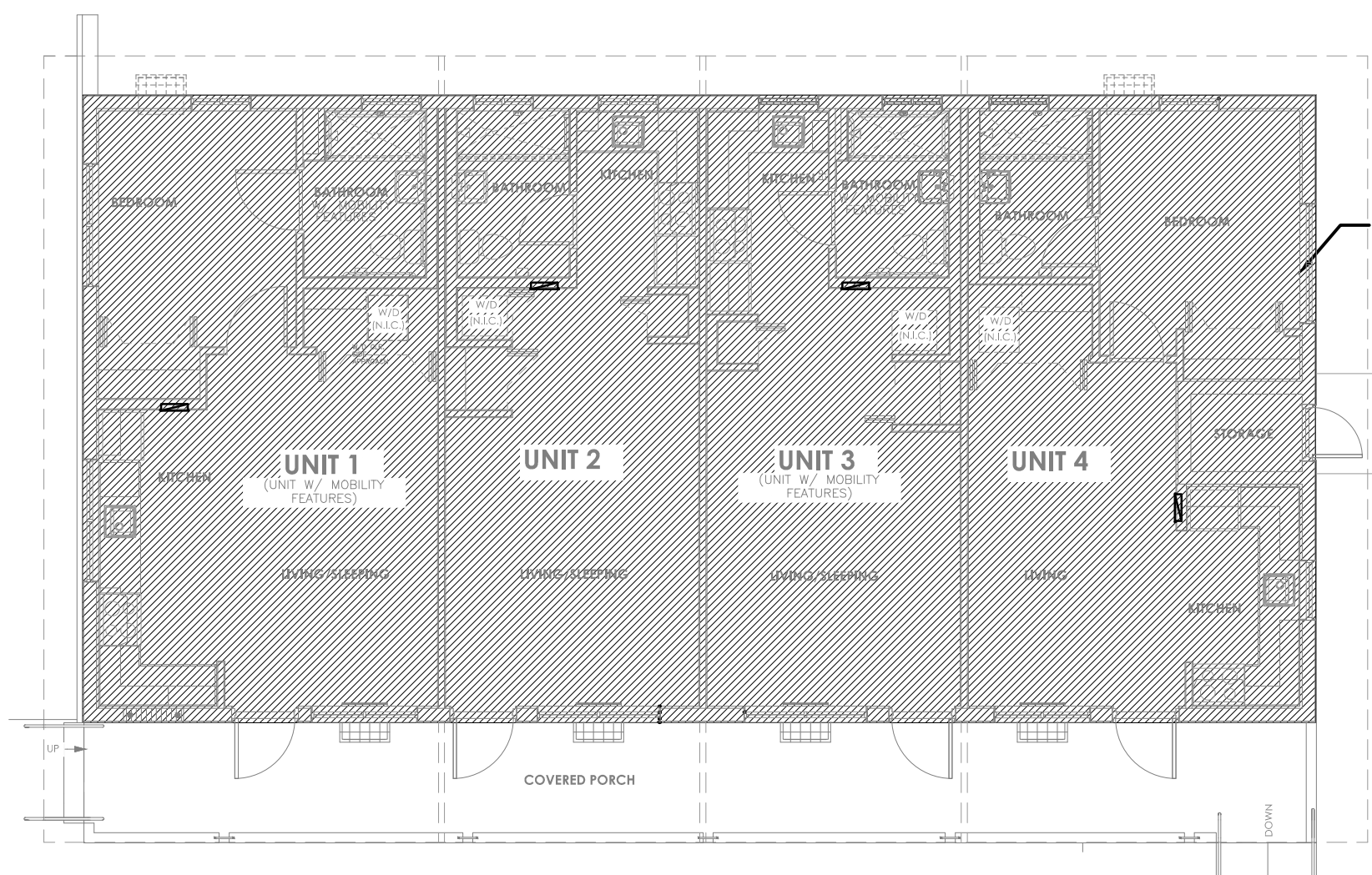
CONSULTANTS:

MECHANICAL ELECTRICAL PLUMBING ENGINEER:

CARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 356-8997 FAX: (305) 214-9194
Certificate of Authorization #3144
www.cartak-engineering.com

Cartek Project No. 2867

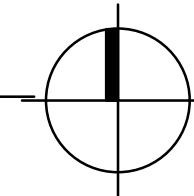
This document and the information it contains is the exclusive property of Cartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Cartek Engineering.



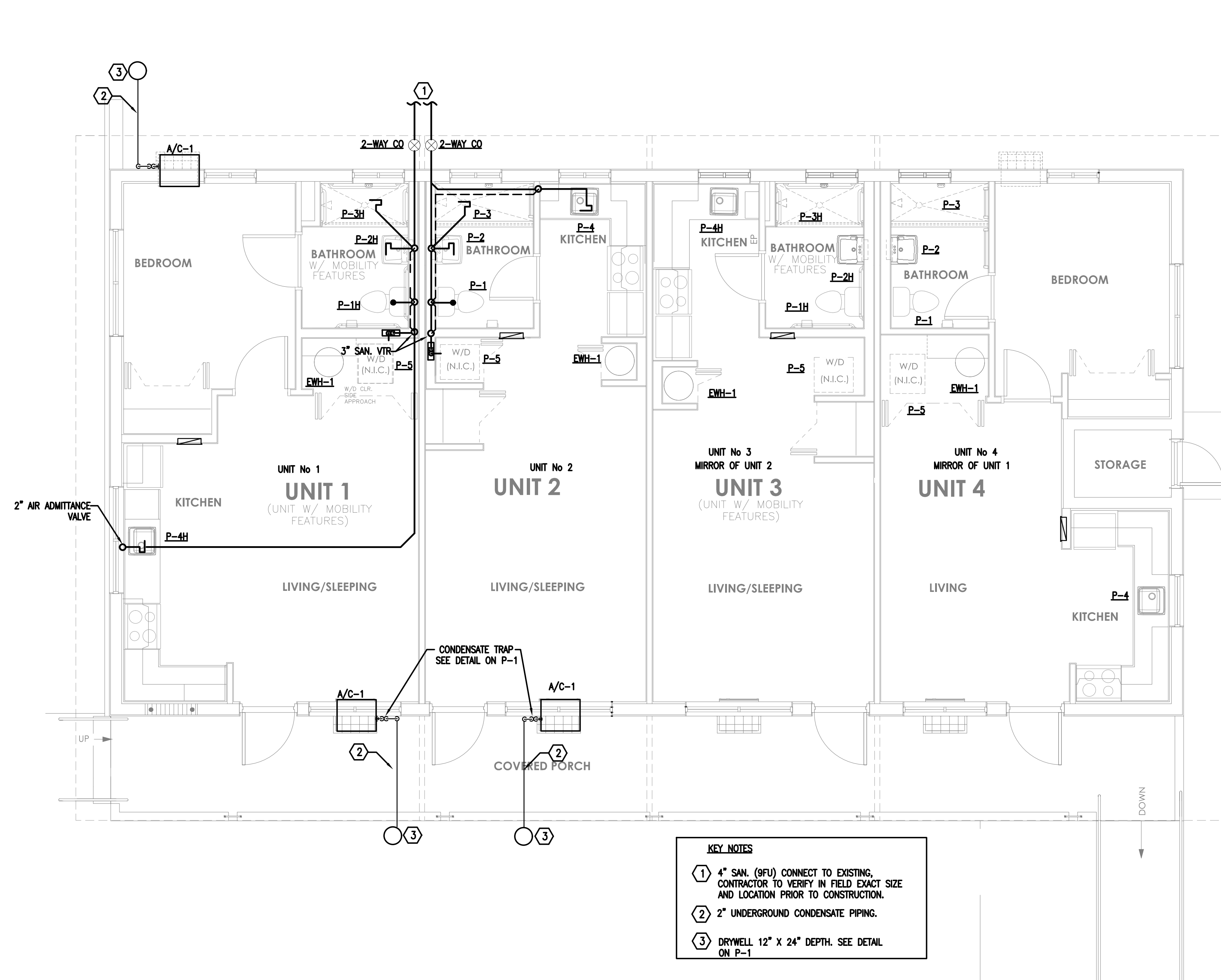
CONTRACTOR SHALL REMOVE ON THIS AREA ALL EXISTING PIPING AND PLUMBING FIXTURES WITH THEIR ASSOCIATED TRIM. REFER TO DWGS. P-1 FOR DEMOLITION NOTES.

PLUMBING DEMOLITION FLOOR PLAN

1/4" = 1'-0"



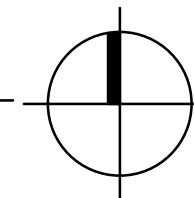
1301 NE 111 ST



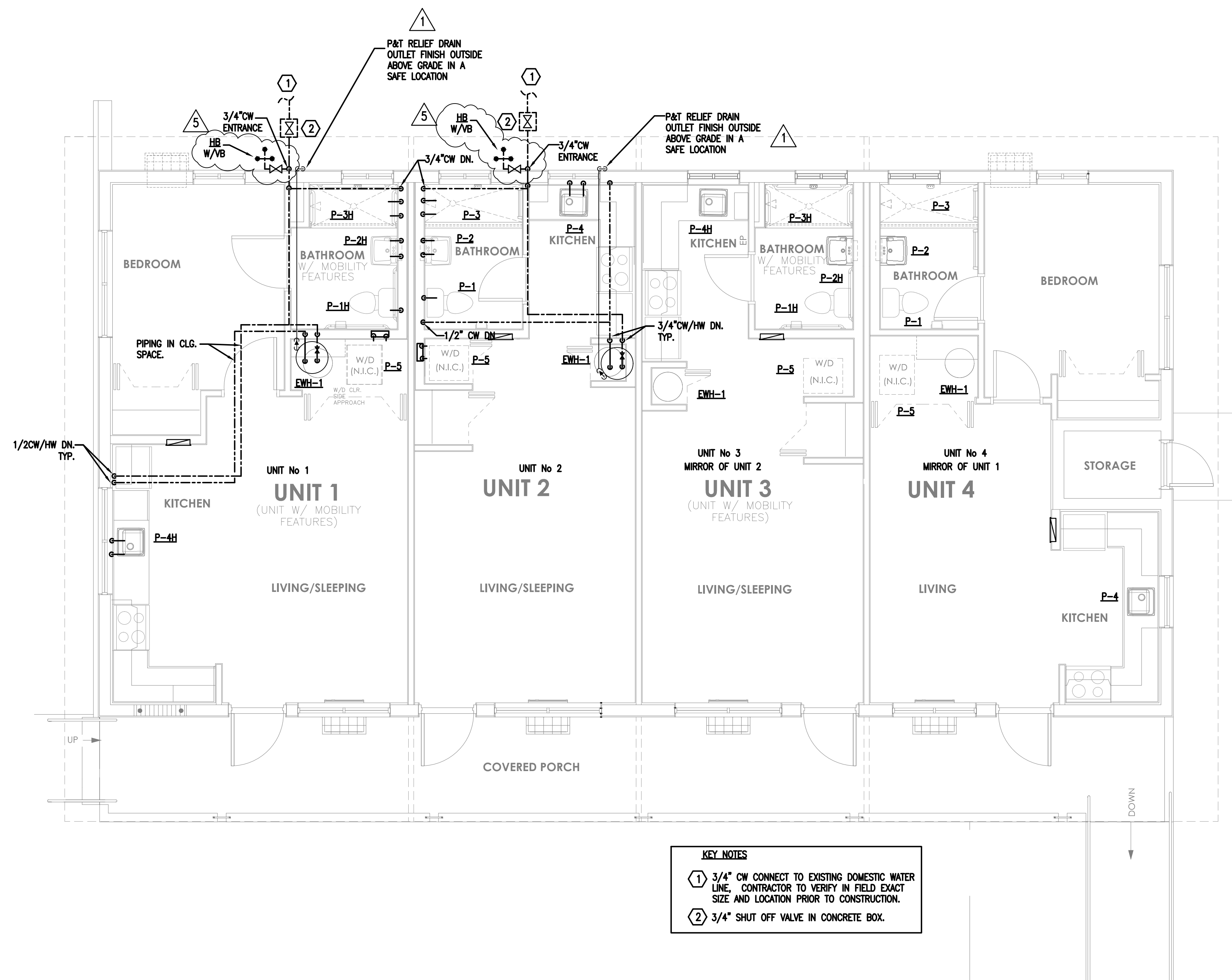
- KEY NOTES**
- ① 4" SAN. (9F) CONNECT TO EXISTING. CONTRACTOR TO VERIFY IN FIELD EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.
 - ② 2" UNDERGROUND CONDENSATE PIPING.
 - ③ DRYWELL 12" X 24" DEPTH. SEE DETAIL ON P-1

SANITARY PLUMBING FLOOR PLAN

1/4" = 1'-0"



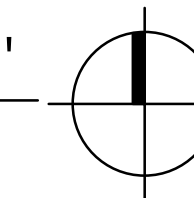
1301 NE 111 ST



- KEY NOTES**
- ① 3/4" CW CONNECT TO EXISTING DOMESTIC WATER LINE. CONTRACTOR TO VERIFY IN FIELD EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.
 - ② 3/4" SHUT OFF VALVE IN CONCRETE BOX.

WATER PLUMBING FLOOR PLAN

1/4" = 1'-0"



1301 NE 111 ST

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:

Lori B. Solo

City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

PLUMBING
FLOOR PLAN

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)

LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: September 15, 2014

REVISED:

10-20-13 BLDG. DEPT. COMMENTS

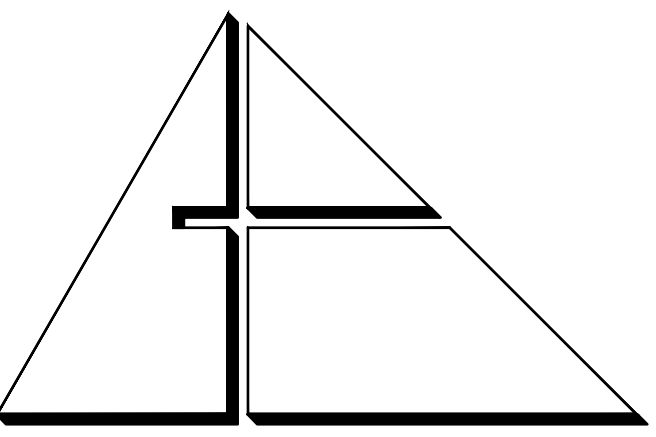
01-16-17 PLAN UPDATE

CAD DRAWING NAME:

SHEET NO.

BID SET

P-2



**ALLEGUEZ
ARCHITECTURE, INC.**

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@beltsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:

MECHANICAL ELECTRICAL PLUMBING ENGINEER:

CARTEK ENGINEERING CORP.

7210 SOUTHWEST 39TH TERRACE

MIAMI, FLORIDA 33155

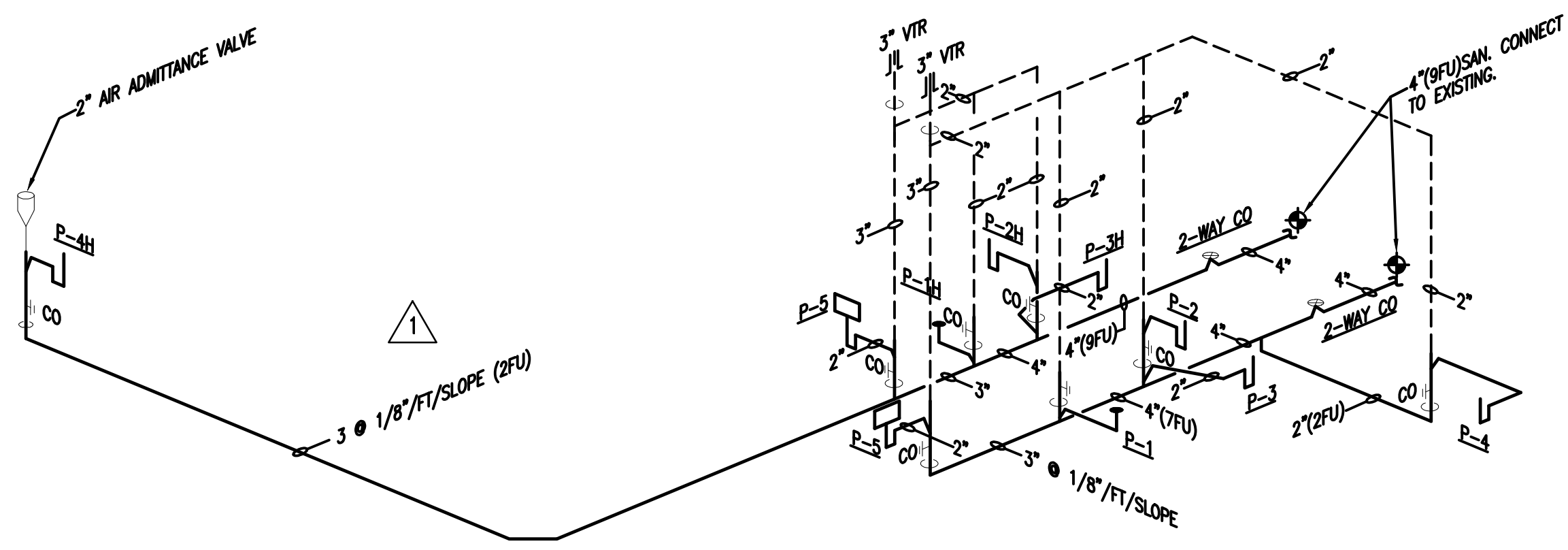
TEL: (305) 356-8997 FAX: (305) 214-9494

Certificate of Authorization #3144

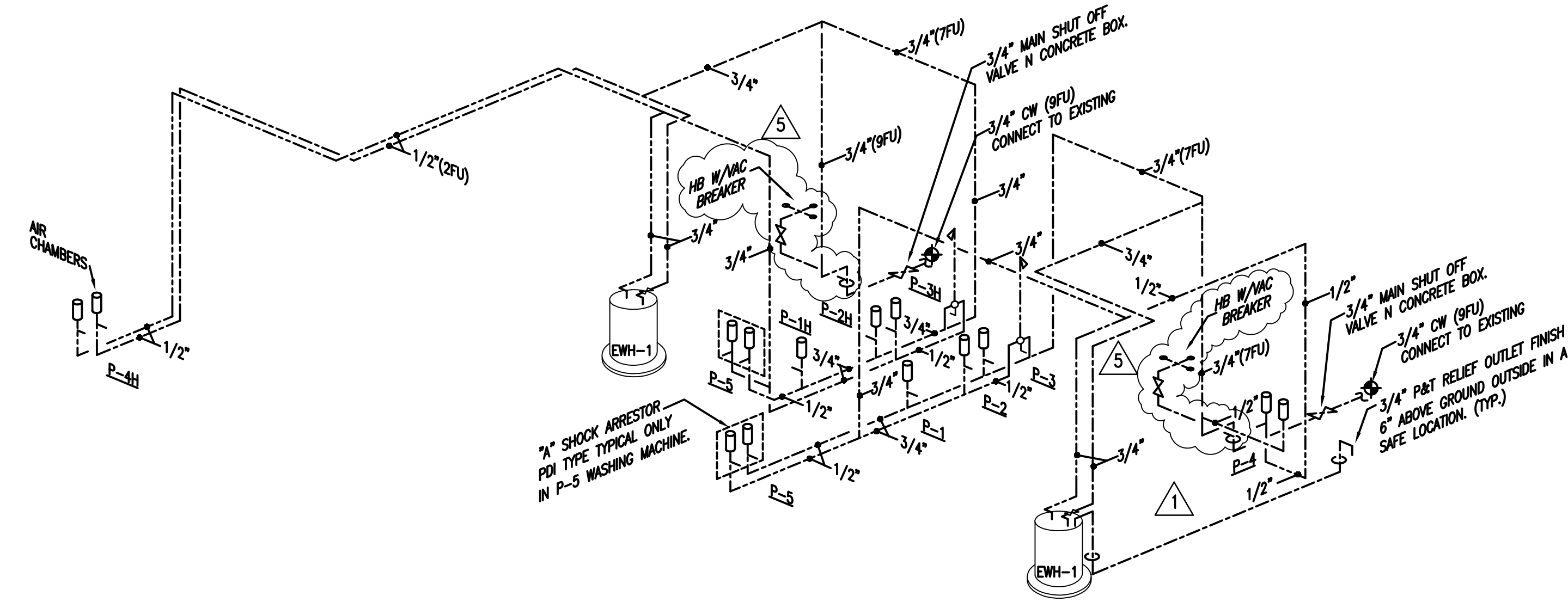
www.gortek-engineering.com

Cartek Project No. 2867

This document and the information it contains is the exclusive property of Cartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Cartek Engineering.



SANITARY RISER NTS
11115 NE 13 Ave



WATER RISER NTS

PROJECT:

**CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.**

Owner's Representative:

Lori B. Solo

City of Miami
Department of Community Development

(305) 416-2084

444 SW 2nd Avenue

Miami, FL 33130

DRAWING TITLE:

**PLUMBING
RISERS**

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)

LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: September 15, 2014

REVISED:

10-20-13 BLDG. DEPT. COMMENTS

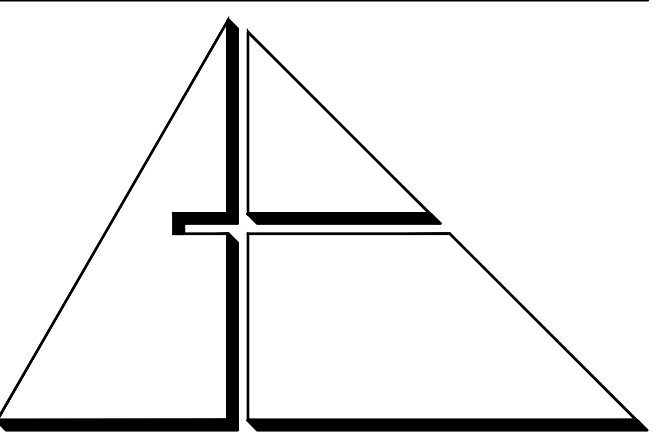
01-16-17 PLAN UPDATE

CAD DRAWING NAME:

SHEET NO.

BID SET

P-3



ALLEGUEZ
ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:

MECHANICAL ELECTRICAL PLUMBING ENGINEER:

CARTEK ENGINEERING CORP.

7210 SOUTHWEST 39TH TERRACE

MIAMI, FLORIDA 33155

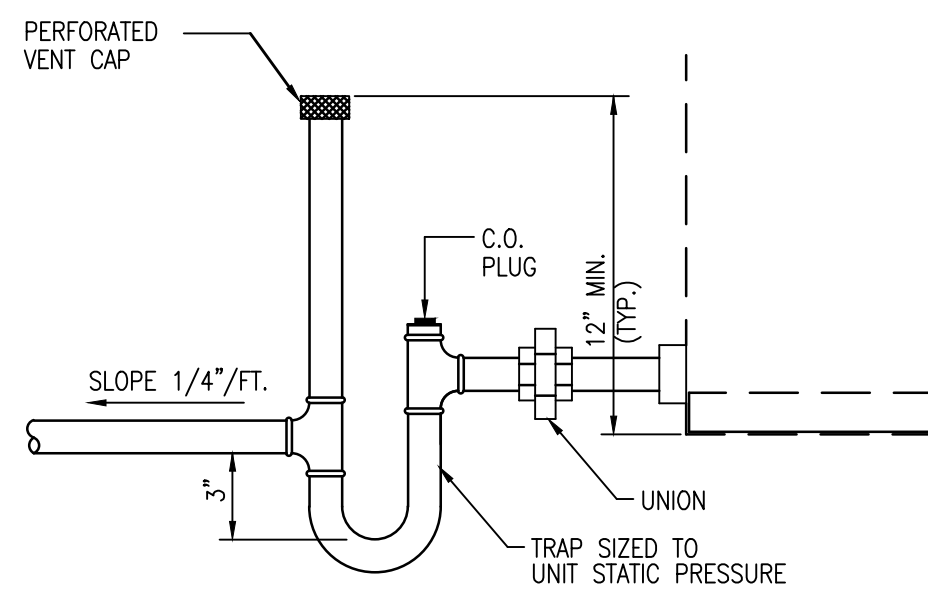
TEL: (305) 354-8997 FAX: (305) 214-9494

Certificate of Authorization #3144

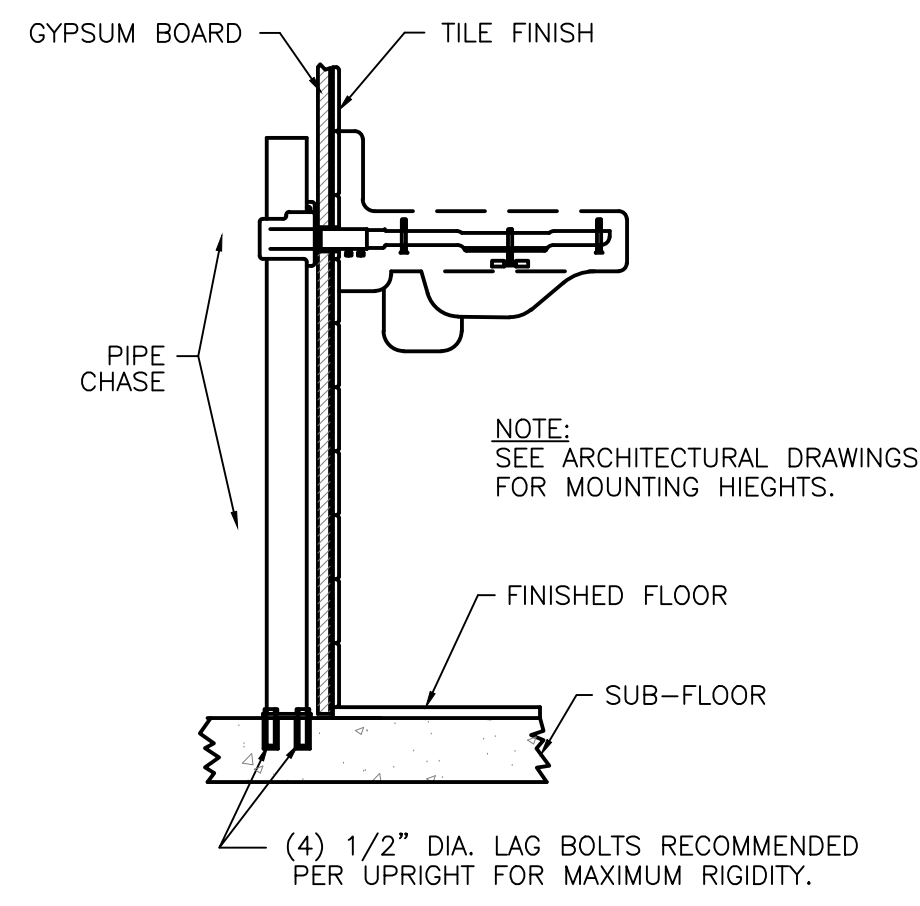
www.gortek-engineering.com

Cartek Project No. 2867

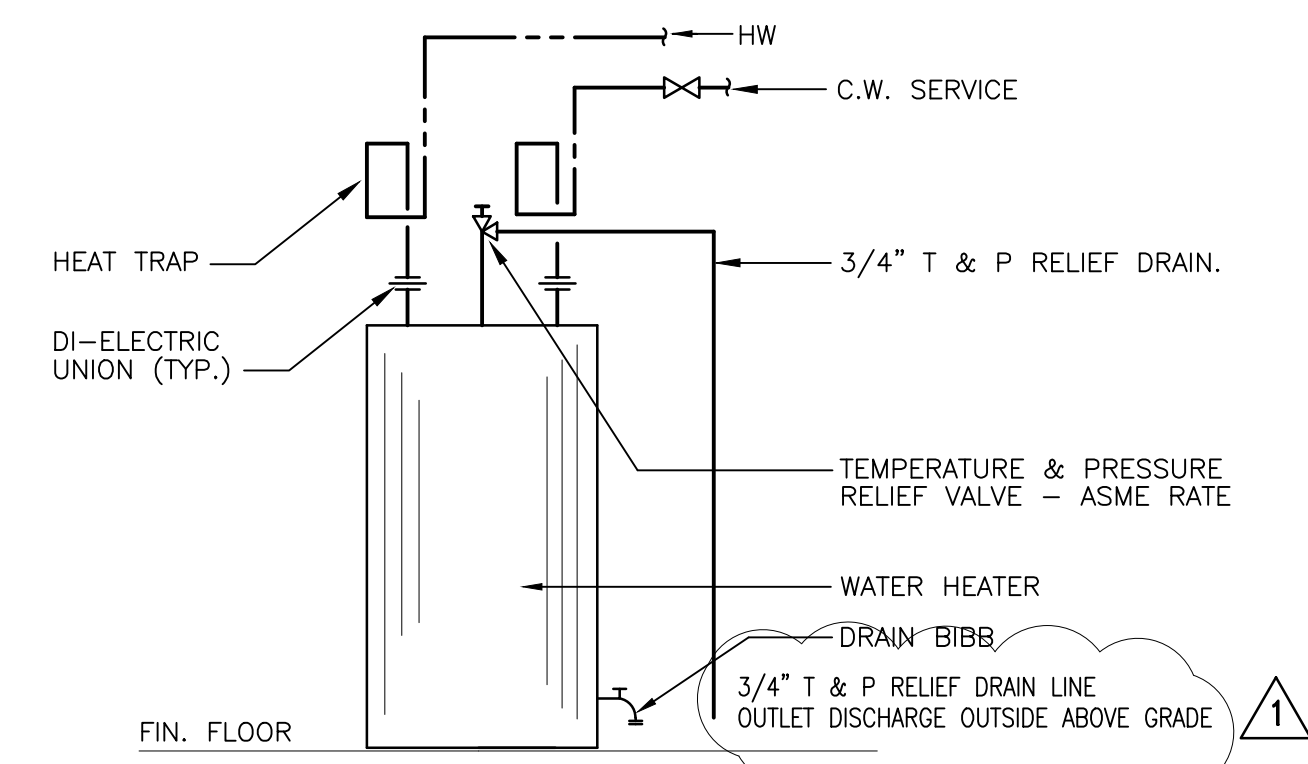
This document and the information it contains is the exclusive property of Cartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Cartek Engineering.



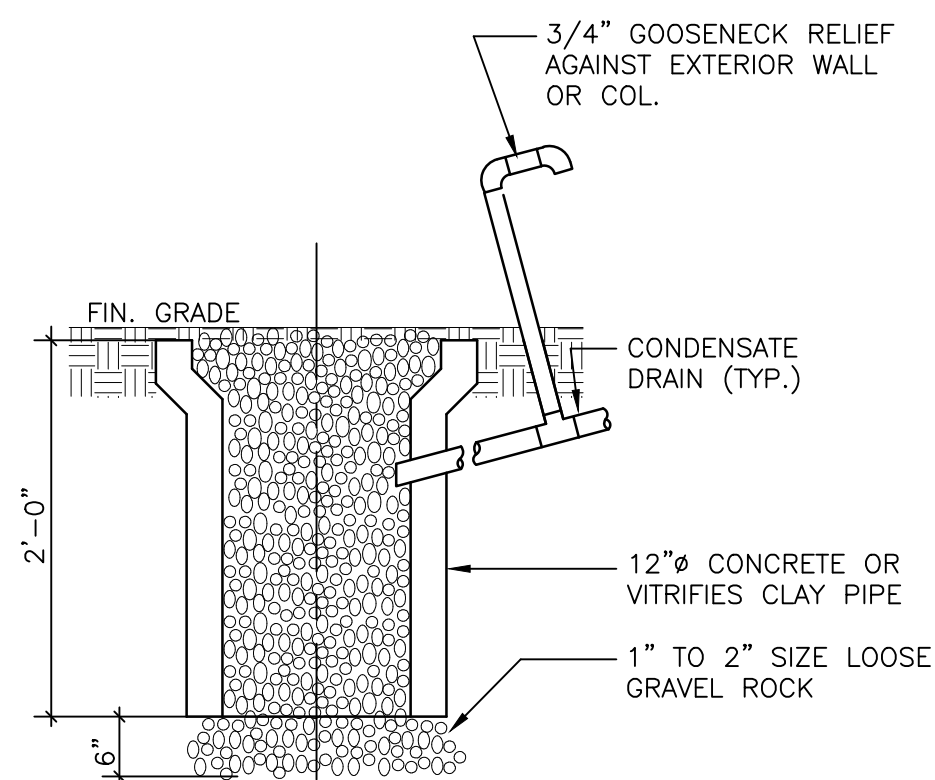
1 CONDENSATE TRAP DETAIL
P4 SCALE: N.T.S.



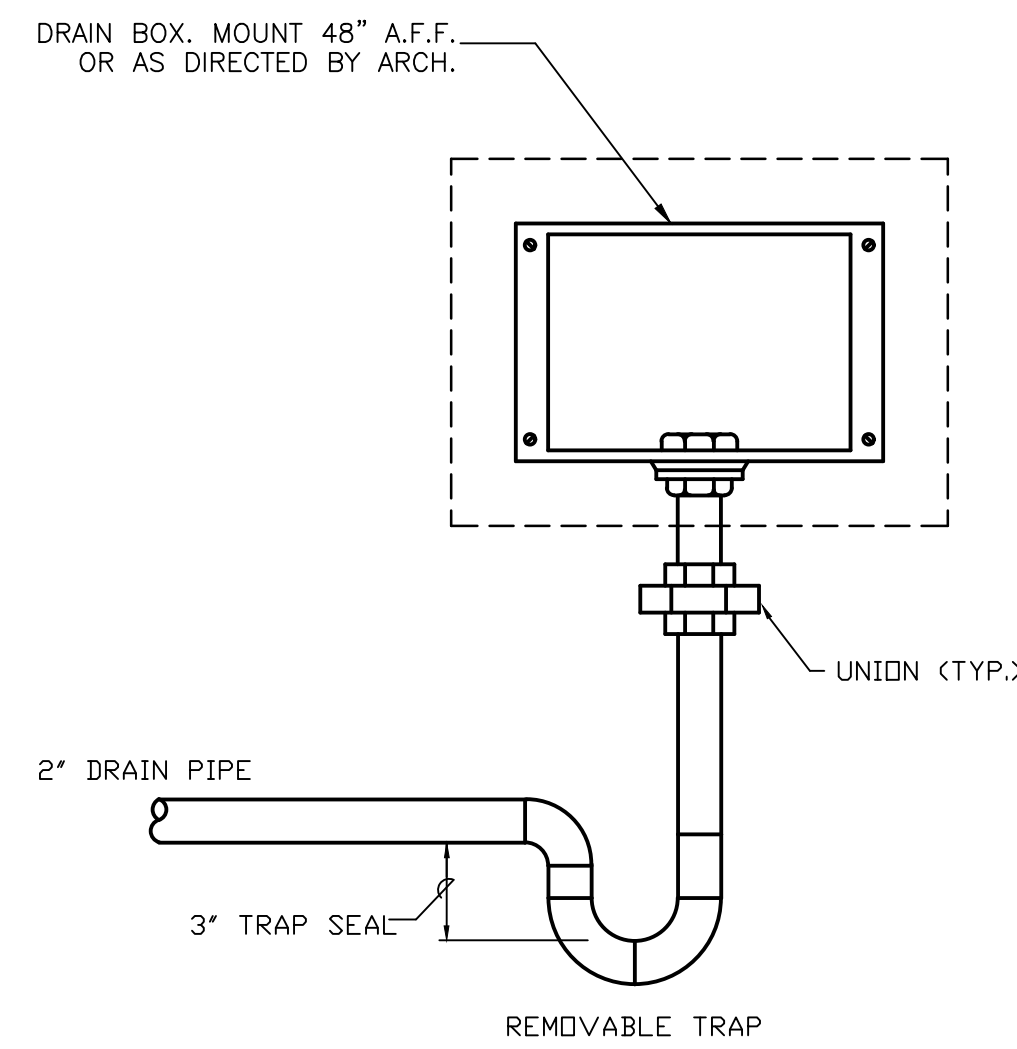
2 TYPICAL LAVATORY MOUNTING DETAIL
P4 SCALE: N.T.S.



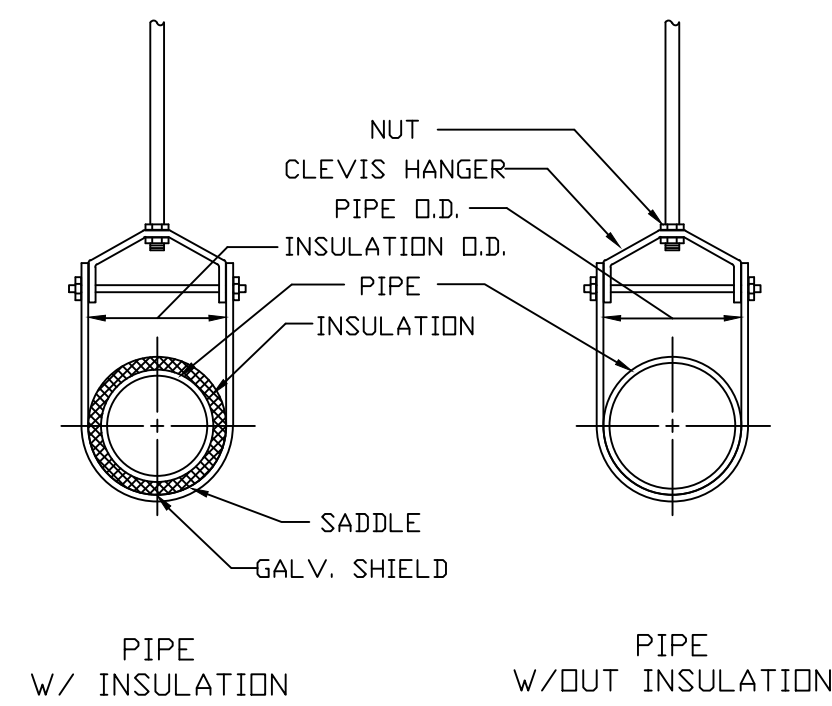
3 ELECTRIC WATER HEATER DETAIL
P4 SCALE: N.T.S.



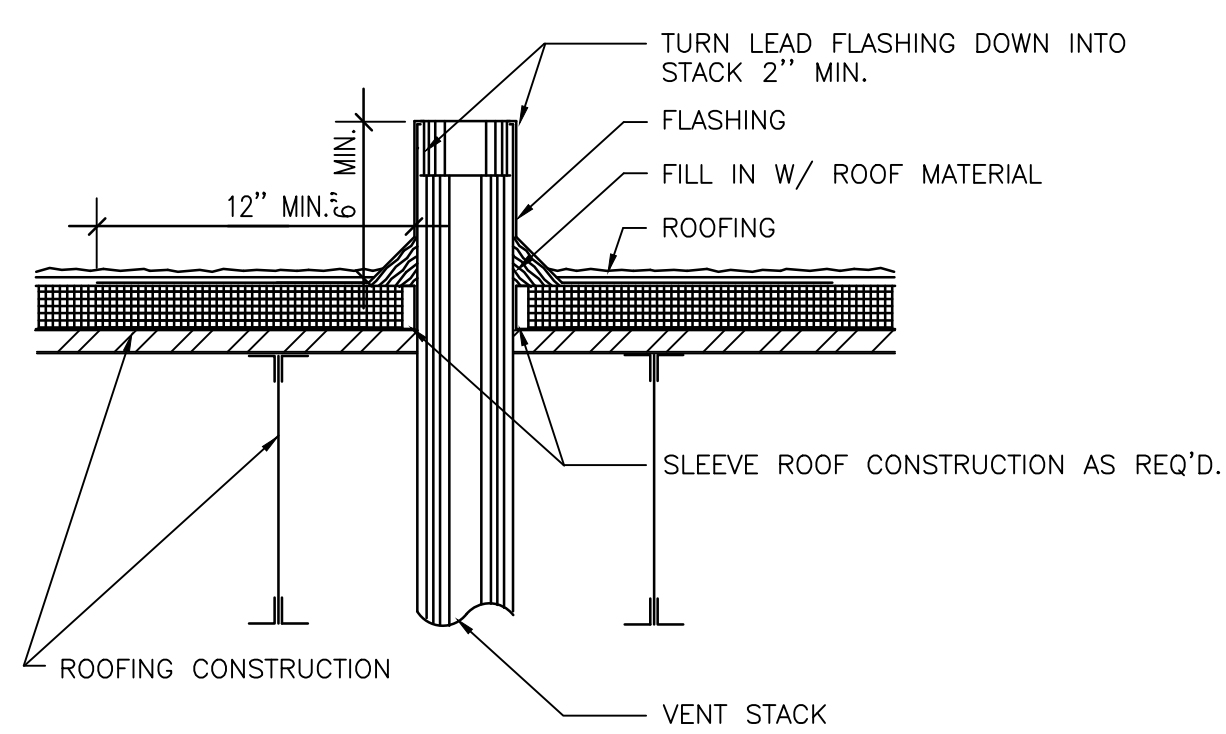
4 DRYWELL DETAIL
P4 SCALE: N.T.S.



5 WASHING MACHINE DRAIN BOX DETAIL
P4 SCALE: N.T.S.

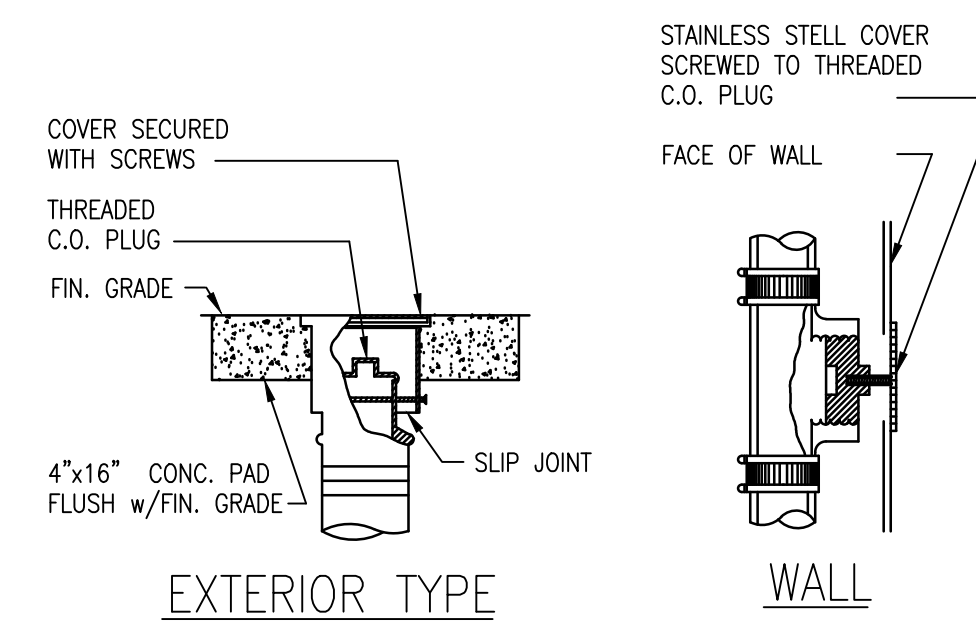


6 CLEVIS PIPE HANGER DETAIL
P4 SCALE: N.T.S.



NOTE:
ANY VENT PIPE WITHIN 10' OF ANY DOOR, WINDOW, OR EXHAUST OPENING OR OUTSIDE AIR INTAKE SHALL EXTEND NOT LESS THAN 3' ABOVE SAME.

7 VENT-THRU ROOF DETAIL
P4 SCALE: N.T.S.



8 TYPICAL CLEANOUT DETAIL
P4 SCALE: N.T.S.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:

Lori B. Solo

City of Miami

Department of Community Development

(305) 414-2084

444 SW 2nd Avenue

Miami, FL 33130

DRAWING TITLE:

PLUMBING DETAILS

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)

LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: September 15, 2014

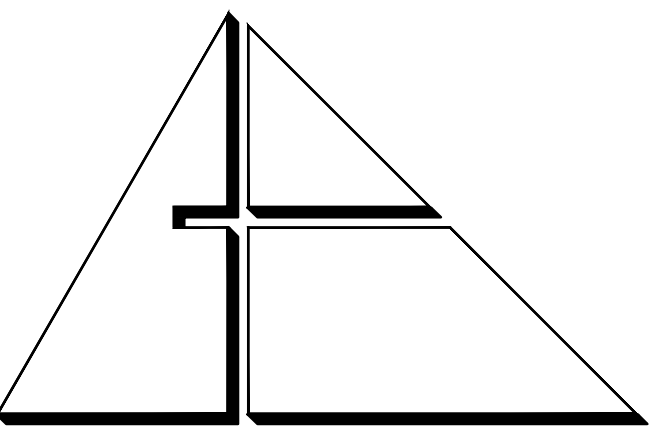
REVISED:

10-20-13 BLDG. DEPT. COMMENTS

CAD DRAWING NAME:

SHEET NO.

BID SET



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

CONSULTANTS:

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER:

GARTER ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (855) 354-8977 FAX: (305) 214-9496

Certificate of Authorization #3144
www.garter-engineering.com
Garter Project No. 2867.03

This document and the information it contains is the exclusive property of Garter Engineering and shall not be reproduced or used for other projects other than the specific project for which it was prepared without the explicit consent of Garter Engineering.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 NE 111 ST.

MIAMI, FL

DRAWING TITLE:

SEPTIC TANK
DEMO PLAN,
NOTES AND
DETAILS

SCALE:

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: February, 05, 2015

REVISED:

1 06-15-15 DCH COMMENTS
2 07-24-15 DCH COMMENTS

CAD DRAWING NAME:

SHEET NO.

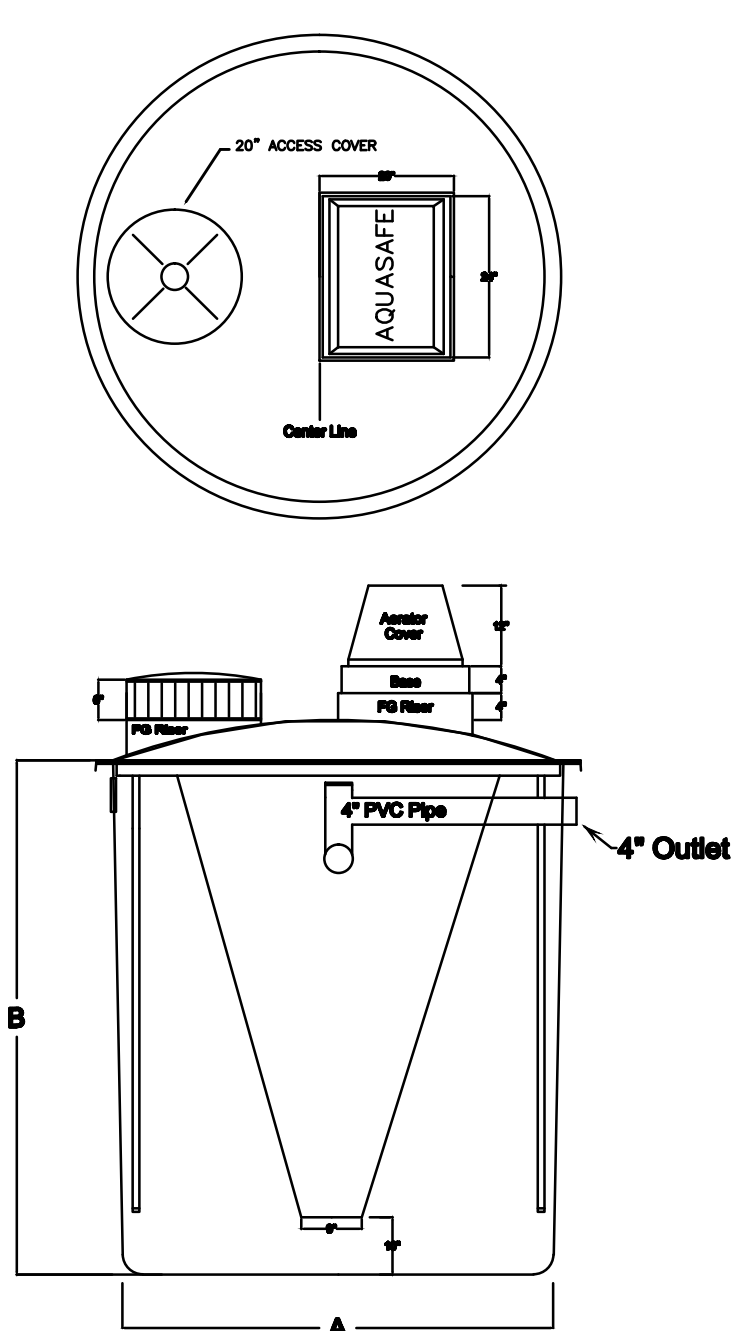
P-5

DESIGN CRITERIA FOR WASTE WATER DISPOSAL

BUILDING TYPE: RESIDENCE	
UNIT 1 (1 BDR, 502 SQF) = 100 GPD	TABLE I F.A.C. ESTIMATED SEWAGE FLOWS
UNIT 2 (1 BDR, 374 SQF) = 100 GPD	TABLE I F.A.C. ESTIMATED SEWAGE FLOWS
UNIT 3 (1 BDR, 380 SQF) = 100 GPD	TABLE I F.A.C. ESTIMATED SEWAGE FLOWS
UNIT 4 (1 BDR, 482 SQF) = 100 GPD	TABLE I F.A.C. ESTIMATED SEWAGE FLOWS
ESTIMATED SEWAGE FLOW: 400 GPD	FLORIDA ADMINISTRATIVE CODE CHAPTERS 64E-6.008 /64E-E.012
DOMESTIC AEROBIC TREATMENT SYSTEM CAPACITY BASED ON 400 GPD/UNIT	F.A.C. / 25% REDUCTION TO DRAIN FIELD AREA
4 UNITS X 400 GPD = 1600 GPD, (2) 1000 GPD AQUA SAFE AS1000 WORKING IN SERIES	REQUIRED 500 SF TRENCH DRAIN REDUCED AREA
TRENCH DRAIN FIELD: 0.8 GAL/SF/DAY	TABLE III F.A.C. 375 SF

NOTE: SUB-SURFACE CONDITIONS WAS BASED ON THE "REPORT OF SURFACE SOIL EXPLORATION GEOTECHNICAL EVALUATION AND RECOMMENDATIONS" TO CITY OF MIAMI LIFE QUEST 149022 NE 111 AVENUE MIAMI, FLORIDA, DATED NOVEMBER 10/13 BY NELCO TESTING AND ENGINEERING SERVICES, INC.

Aqua Safe AS 500 - 1500 With EZ Top



ECOLOGICAL TANKS, INC AQUA SAFE PRODUCT SPECIFICATIONS INDIVIDUAL HOME WASTEWATER TREATMENT PLANT MODELS AS500, AS600, AS750, AS1000, & AS1500

Treatment Capacity (GPD)	AS500 500	AS600 600	AS750 750	AS1000 1000	AS1500 1500
Volumetric Capacity (GAL)	1000	1199	1516	2008	2816
Aeration Capacity (GAL)	848	1000	1288	1706	2349
Clarifier Capacity (GAL)	152	190	228	302	569
BOD5 Loading (LB/DAY)	1.25	1.50	1.85	2.50	3.75
WEIGHTS (POUNDS)	540	660	800	1000	1350

PARTS LIST

Aeration Tank, Clarifier, Air Distribution System, Access Cover 20" Polyethylene, Discharge Piping Assembly, Compressor Housing

DIMENSIONS

MODEL	A (I.D.)	B (HEIGHT)	C (RAD)
AS500	5'6"	6'4"	33.5"
AS600	6'0"	6'4"	37"
AS750	6'9"	6'4"	41"
AS1000	6'9"	8'2"	41"
AS1500	8'2"	8'2"	50"

AEROBIC SYSTEMS (770) 646-7990

1 AEROBIC TREATMENT UNIT N.T.S.

PLUMBING LEGEND

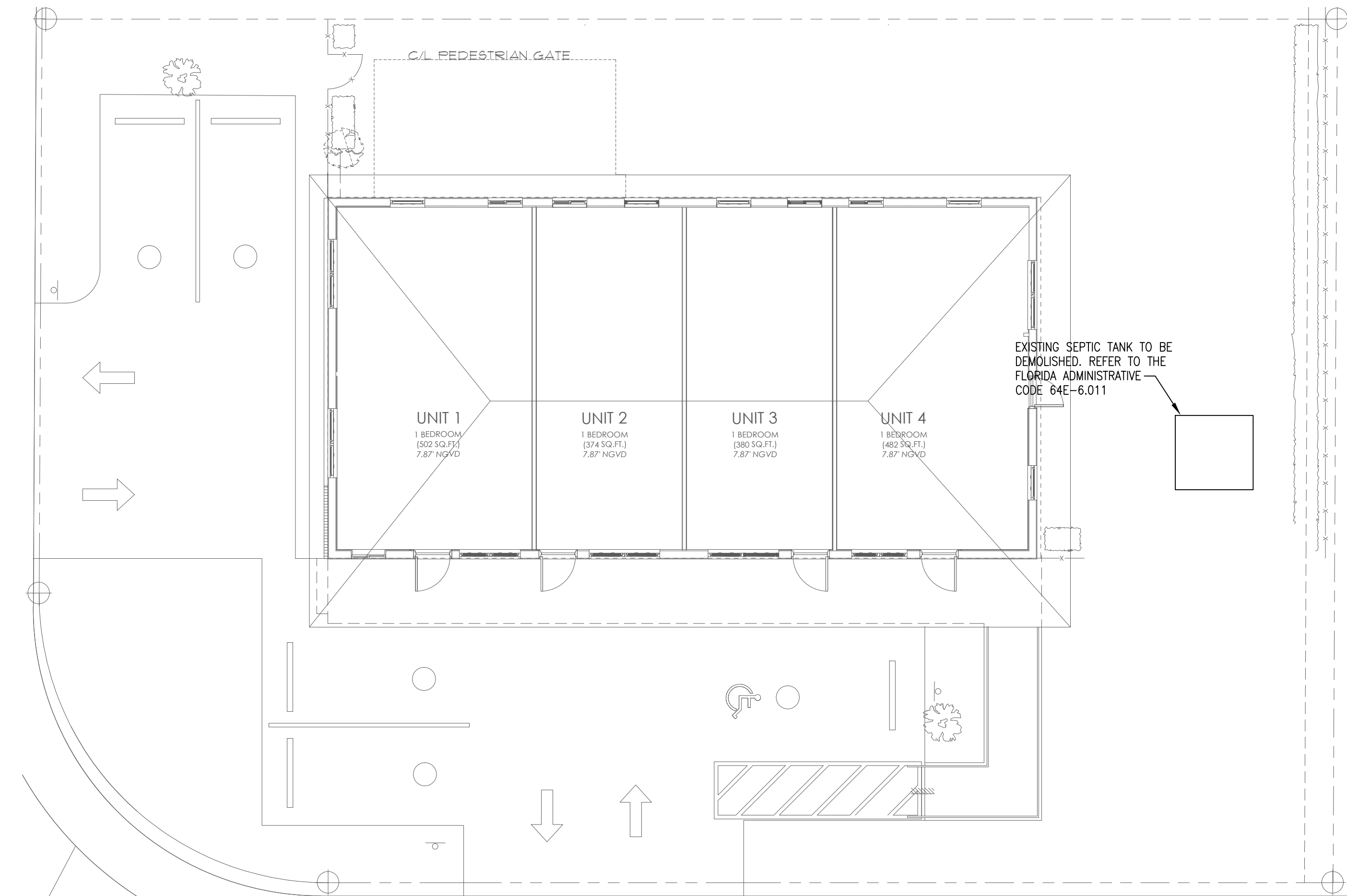
—	SAN	SANITARY DRAIN
—	SD	STORM DRAIN
—	CD	CONDENSATE DRAIN LINE
—	CW	COLD WATER LINE
—	PV	FULL PORT-BONZE/BRASS TEFLOON SEATED BALL VALVE
—	VV	VALVE IN RISER
—	HB	HOSE BIBB W/ VACUUM BREAKER
—	CO	TWO WAY CO
—	FD	FLOOR CLEAN OUT
—	CG	CLEAN OUT TO GRADE
—	UG	UNDER GROUND
—	CNTE	CONNECT TO EXISTING

PLUMBING GENERAL NOTES

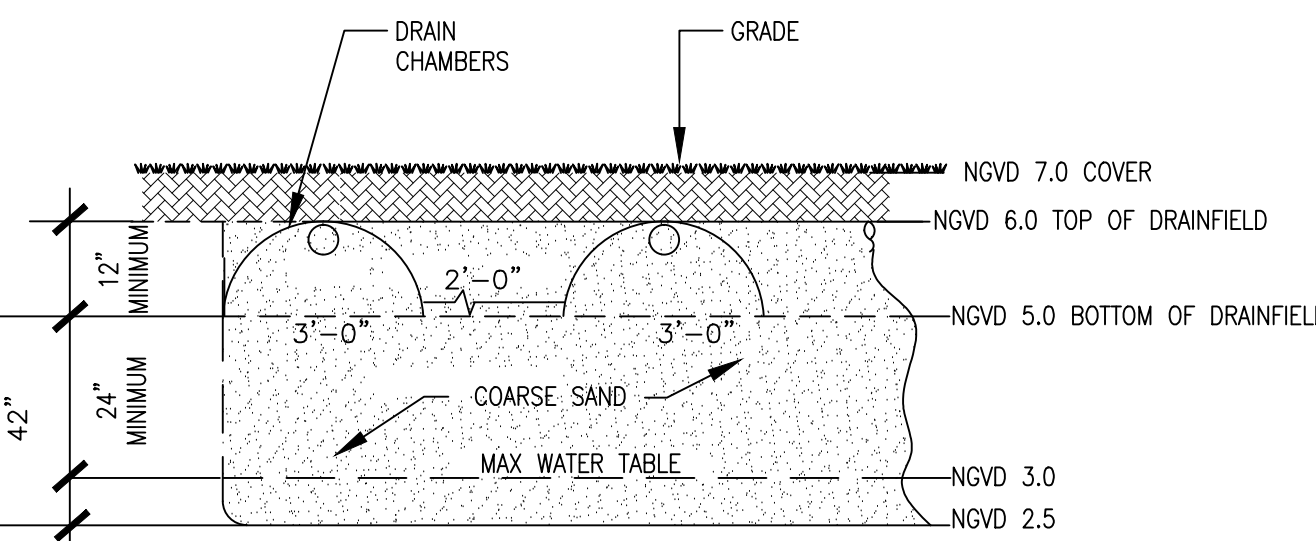
- UNLESS OTHERWISE SPECIFIED ON THIS DRAWING CONTRACTOR SHALL REFER TO ORIGINAL LANDLORD SPECIFICATIONS FOR ALL APPLICABLE REQUIREMENTS, NOTES, DETAILS, CONSTRUCTION'S STANDARDS, ETC., COORDINATE WITH LANDLORD REQUIREMENTS PRIOR TO ORDERING AND/OR INSTALLATION OF ANY EQUIPMENT AND ACCESSORIES SHOWN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE SEPTIC TANK AND DRAIN FIELD SYSTEM IN ACCORDANCE WITH THIS DRAWING, THE APPLICABLE EDITION OF CHAPTER 64E-6, FLORIDA ADMINISTRATIVE CODE, STANDARDS FOR ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
- THE CONTRACTOR SHALL PAY ALL COST OF PERMIT, INSPECTIONS AND OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK. UPON FINAL INSPECTION, A CERTIFICATE FROM THE LOCAL STATE INSPECTION AUTHORITY SHALL BE FURNISHED TO THE OWNER.
- EXISTING PIPES SERVING AREAS NOT COVERED BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED EXCEPT AS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER AND LANDLORD.
- CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS, PIPING AND EQUIPMENT.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND MUST BE FURNISHED SO AS TO PREVENT ANY DELAY IN THE PROGRESS OF THE WORK.
- CONTRACTOR SHALL SUBMIT EQUIPMENT & PLUMBING FIXTURES SHOP DRAWINGS. SHOP DRAWINGS SHALL BE COORDINATED BY CONTRACTOR WITH ALL TRADES INCLUDING STRUCTURAL, LIGHTING, ARCHITECTURAL LATEST LAYOUTS, ETC. CONTRACTOR SHALL NOT PROCEED TO ORDER AND/OR INSTALL EQUIPMENT AND ACCESSORIES UNLESS SHOP DRAWING REVIEW PROCESS HAS BEEN COMPLETED AND REVIEWED BY THE ENGINEER OF RECORD (EOR) AND APPROVED BY THE OWNER REPRESENTATIVES. THE DRAWINGS ARE NOT TO BE SCALED, UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS, AND SITE CONDITIONS SHALL GOVERN EXACT LOCATION OF PLUMBING EQUIPMENT AND AFFURTEANANCES. MANUFACTURERS USED AS THE BASIS OF DESIGN ARE LISTED ON THE DRAWING'S SCHEDULES, ANY OTHERS MUST MEET OR EXCEED ALL SPECIFIED REQUIREMENTS. ANY SUBSTITUTIONS (WHERE ALLOWED BY "OR EQUAL" ON THESE DOCUMENTS) MUST BE ACCOMPANY BY A DETAIL COST AND EQUALITY COMPARISON OF ALL ITEMS INCLUDING ANY COST DIFFERENCES AND MUST BE SUBMITTED FOR EOR REVIEW TEN (10) WORKING DAYS PRIOR TO BIDS, IF "OR EQUAL" IS NOT LISTED AFTER THE MANUFACTURER'S NAME ON THESE DOCUMENTS, THE LISTED MANUFACTURER SHALL BE SUBMITTED, NO EXCEPTIONS ARE ALLOWED. NAMING ACCEPTABLE MANUFACTURERS DOES NOT RELIEVES THE CONTRACTOR FROM COMPLIANCE WITH ALL DESIGN REQUIREMENTS SHOWN ON THESE DRAWINGS OR LISTED HEREIN. EOR IS SOLEMNLY RESPONSIBLE TO MAKE FINAL EQUALITY RECOMMENDATION TO THE OWNER.
- PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- COORDINATE SCHEDULING OF ALL REQUIRED INSPECTIONS WITH APPROPRIATE REGULATORY BODIES.
- DRAINAGE SYSTEM DESIGN TO THE SPECTIC TANK INLET IS BASED ON 1/8" PER FOOT MINIMUM FALL FOR PIPES 3" OR LARGER AND 1/4" PER FOOT MINIMUM FALL FOR PIPES 2" OR SMALLER, ANY DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER.

PLUMBING SPECIFICATION

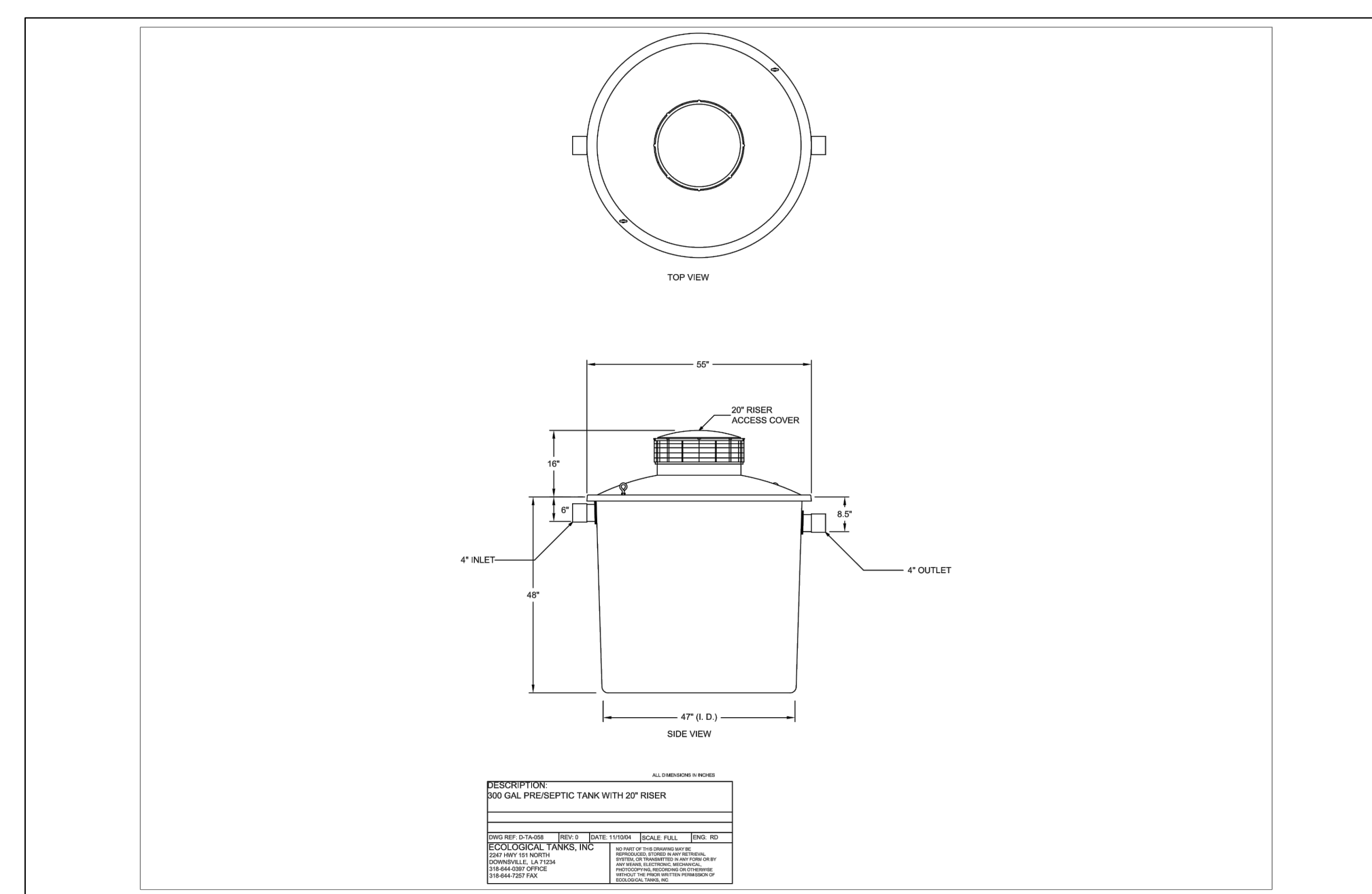
- GENERAL:
MATERIAL SHALL BE NEW, UNUSED, BEST OF THEIR RESPECTIVE KINDS AND FREE FROM DEFECTS IN WORKMANSHIP IN CONFORMANCE WITH THE LATEST PUBLICATIONS IN FORCE AT TIME OF BIDDING.
- PIPE AND FITTINGS: (TO SEPTIC TANK INLET)
A. SANITARY SOIL/DRAINAGE BELOW GROUND; SCHEDULE 40 SOLID PLASTIC PVC PIPE ASTM D1785.
B. DISPOSAL SYSTEM PIPING AS FOLLOWS:
DRAINFIELD: PE PLASTIC PERFORATED FIELD TUBING 4" DIAMETER, SANITARY PIPING & CONNECTIONS: SEE PLUMB. SPECS
- JOINTS AND METHODS OF CONNECTION:
A. SCHEDULE 40 PVC MOLDED PREFORMED FITTINGS, PVC-DW, SOCKET SOLVENT CEMENT, ASTM D-2467



PLUMBING DEMOLITION PLAN 1/8" = 1'-0"



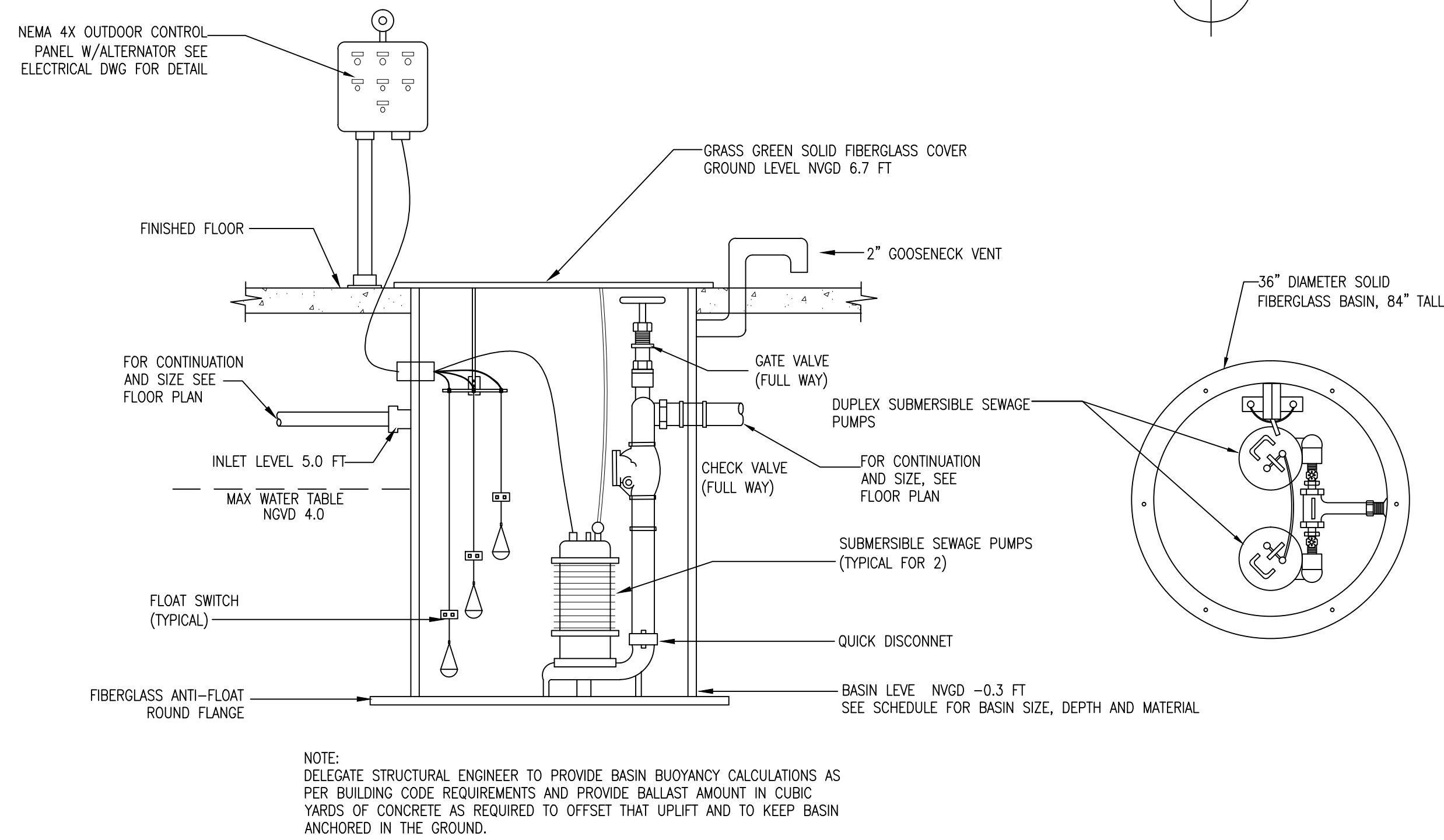
2 DRAINFIELD SECTION DETAIL N.T.S.



3 PRE/SEPTIC TANK N.T.S.

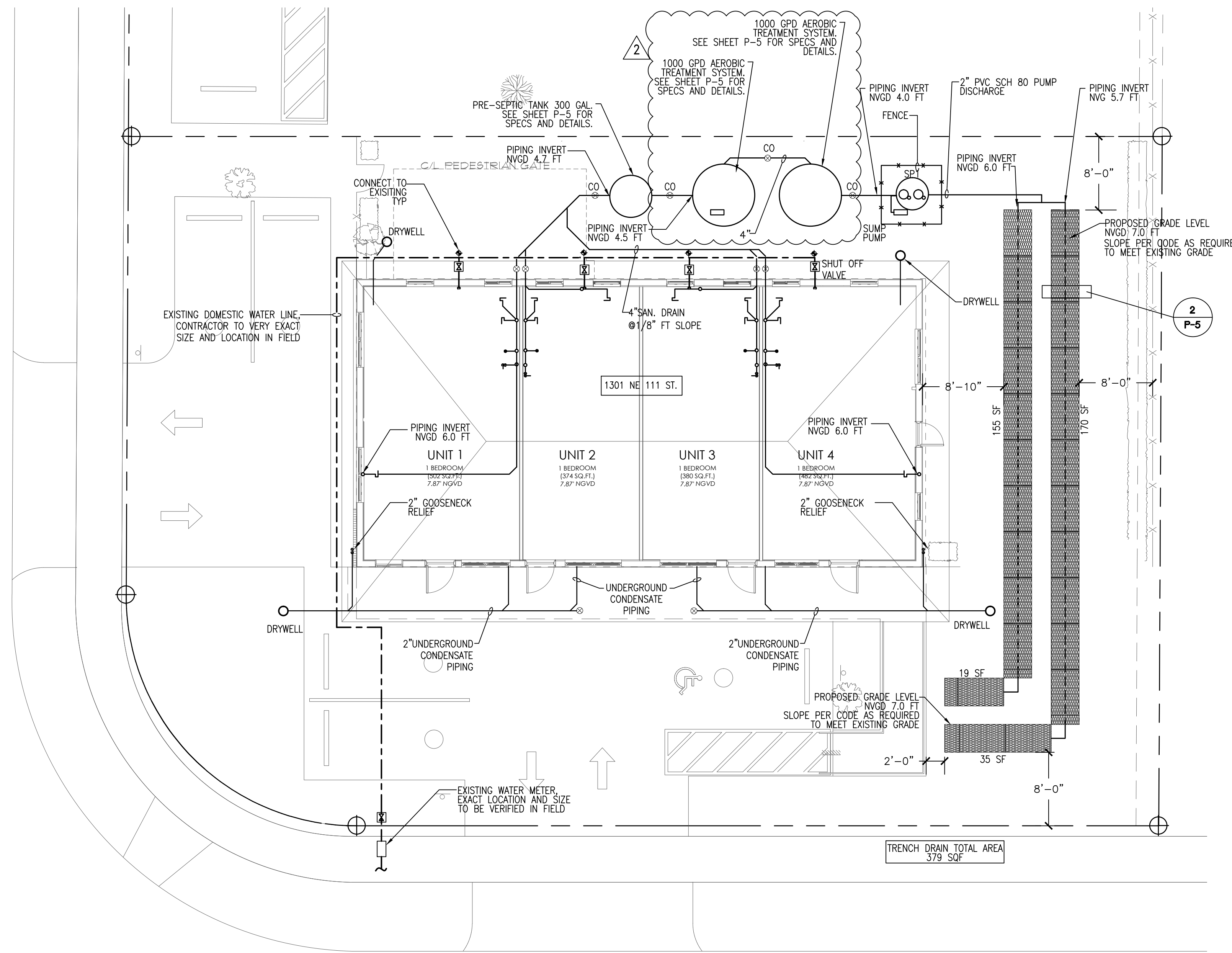
FLORIDA ADMINISTRATIVE CODE 64E-6.011 ABANDONMENT OF SYSTEMS.

- WHENEVER THE USE OF AN ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM IS DISCONTINUED FOLLOWING CONNECTION TO A SANITARY SEWER, FOLLOWING CONDEMATION OR DEMOLITION OR REMOVAL OR DESTRUCTION, OF A BUILDING OR PROPERTY, OR DISCONTINUING THE USE OF A SEPTIC TANK AND REPLACEMENT WITH ANOTHER SEPTIC TANK, THE SYSTEM SHALL BE ABANDONED WITHIN 90 DAYS AND ANY FURTHER USE OF THE SYSTEM FOR ANY PURPOSE SHALL BE PROHIBITED. HOWEVER, IF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OR ITS DESIGNEE APPROVES THE USE OF THE RETENTION TANK WHERE THE TANK IS TO BECOME AN INTEGRAL PART OF A SANITARY SEWER SYSTEM OR STORMWATER MANAGEMENT SYSTEM, THE SEPTIC TANK NEED NOT BE ABANDONED.
- THE FOLLOWING ACTIONS SHALL BE TAKEN, IN THE ORDER LISTED, TO ABANDON AN ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM:
(A) PROPERTY OWNER OR AGENT SHALL APPLY FOR A PERMIT FROM THE DEPARTMENT TO ABANDON THE EXISTING ONSITE SEWAGE SYSTEM AND SUBMIT THE REQUIRED FEE. UPON RECEIVING A PERMIT:
(B) THE TANK SHALL BE PUMPED OUT.
(C) THE BOTTOM OF THE TANK SHALL BE OPENED OR RUPTURED, OR THE ENTIRE TANK COLLAPSED SO AS TO PREVENT THE TANK FROM RETAINING WATER, AND
(D) THE TANK SHALL BE FILLED WITH CLEAN SAND OR OTHER SUITABLE MATERIAL, AND COMPLETELY COVERED WITH SOIL.
(E) AN INSPECTION OF THE SYSTEM ABANDONMENT SHALL BE CONDUCTED BY THE DEPARTMENT OR BY THE LOCAL UTILITY OR PLUMBING AUTHORITY PERFORMING THE SYSTEM ABANDONMENT.
(F) THE PERMITTING PROVISIONS OF PARAGRAPH 64E-6.011(2)(a), F.A.C., ARE NOT REQUIRED IF A LOCAL UTILITY OR LOCAL PLUMBING AUTHORITY PERFORMS A SYSTEM ABANDONMENT PROGRAM WHICH REQUIRES THE COMPLETION OF THOSE STEPS LISTED IN PARAGRAPHS 64E-6.011(2)(b), (c), (d), AND (e), F.A.C. IF THE SYSTEM ABANDONMENT IS PERFORMED BY A LOCAL UTILITY OR LOCAL PLUMBING AUTHORITY, THE LOCAL UTILITY OR LOCAL PLUMBING AUTHORITY PERFORMING THE ABANDONMENT PROGRAM SHALL MAINTAIN A LOG OF ALL INSPECTIONS PERFORMED AND SHALL FORWARD THE LOG TO THE COUNTY HEALTH DEPARTMENT ON A MONTHLY BASIS.
(G) A SEPTIC TANK SERVING A SINGLE FAMILY RESIDENCE MAY, AT THE OWNER'S DISCRETION, BE CONVERTED INTO A CISTERN PURSUANT TO THE FOLLOWING PROCEDURES:
(A) THE APPLICANT SHALL OBTAIN A SYSTEM ABANDONMENT PERMIT FROM THE COUNTY HEALTH DEPARTMENT.
(B) THE PERMIT APPLICATION SHALL SPECIFY THE INTENDED USE OF THE ABANDONED SEPTIC TANK.
(C) THE ACTIVITIES RELATED TO ABANDONING THE ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SHALL NOT CREATE A SANITARY NUISANCE.
(D) THE SEPTIC TANK SHALL BE DISCONNECTED FROM THE DRAINFIELD AND FROM THE BUILDING SEWER PIPE.
(E) ALL WORK TO DISCONNECT, CLEAN AND SANITIZE THE SEPTIC TANK SHALL BE CONDUCTED BY A REGISTERED SEPTIC TANK CONTRACTOR OR A STATE-LICENSED PLUMBER OR BY THE OWNER OF THE OWNER-OCCUPIED SINGLE FAMILY RESIDENCE BEING SERVED BY THE SEPTIC TANK.
(F) ALL SEPTAGE, WASH WATER, AND OTHER LIQUIDS REMOVED FROM THE TANK SHALL BE REMOVED AND HANDLED AS SEPTAGE (RULE 64E-6.010, F.A.C.) BY A DSH-LICENSED SEPTAGE DISPOSAL SERVICE AND DISPOSED OF AT A DEP-REGULATED WASTEWATER TREATMENT FACILITY.
(G) THE HEALTH DEPARTMENT SHALL INSPECT THE TANK ONCE IT IS DISCONNECTED, EMPTIED, CLEANED, DISINFECTED AND FILLED WITH WATER. THE INSPECTION SHALL DETERMINE WHETHER ALL OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
1. THE TANK HAS BEEN DISCONNECTED FROM THE DRAINFIELD AND THE BUILDING SEWER.
2. THE TANK IS FULL OF WATER WITHIN 12 INCHES OF THE TOP OF THE TANK.
3. THE CLARITY OF THE WATER IS SUCH THAT A SECCHI DISK IS VISIBLE AT THE BOTTOM OF THE TANK.
4. THE PH OF THE WATER IN THE TANK IS BETWEEN 6.0 AND 8.0.
5. THE FREE CHLORINE RESIDUAL OF THE WATER IN THE TANK IS \leq 1.0 PPM.
6. THE TOTAL COLIFORM COUNT IS \leq 1000 PER 100 ML.
7. THE FECAL COLIFORM COUNT IS \leq 200 PER 100 ML.
8. NO SANITARY NUISANCE CONDITION EXISTS ON THE PROPERTY RELATED TO THE ABANDONMENT ACTIVITIES.
(H) ONE INSPECTION IS INCLUDED IN THE ABANDONMENT PERMIT FEE. THE APPLICANT SHALL PAY A RESPECTION FEE FOR ANY ADDITIONAL INSPECTION VISITS NECESSARY. UNTIL ALL OF THE CRITERIA IN SUBPARAGRAPHS 64E-6.011(4)(G)1, THROUGH 8, F.A.C., ARE MET AND FINAL APPROVAL OF THE ABANDONMENT IS GRANTED BY THE COUNTY HEALTH DEPARTMENT.
(I) THE APPLICANT SHALL BE RESPONSIBLE FOR ALL REQUIRED LABORATORY FEES. ALL SAMPLING SHALL BE CONDUCTED BY COUNTY HEALTH DEPARTMENT STAFF DURING THE FINAL INSPECTION.
(J) THE SEPTIC TANK SHALL BE CONVERTED AND INSPECTED WITHIN 90 DAYS AFTER CONNECTION OF THE BUILDING PLUMBING TO THE SANITARY SEWER.
(K) THE TANK SHALL NOT BE CONNECTED TO ANY IRRIGATION COMPONENTS NOR SHALL THE WATER USED FOR IRRIGATION PURPOSES UNTIL FINAL APPROVAL OF THE ABANDONMENT HAS BEEN GRANTED BY THE COUNTY HEALTH DEPARTMENT.
(L) UPON FINAL APPROVAL OF THE ABANDONMENT, USE OF THE TANK OR THE DRAINFIELD FOR SEWAGE STORAGE, TREATMENT OR DISPOSAL IS PROHIBITED AND CONSTITUTES A NUISANCE INJURIOUS TO HEALTH AS DEFINED BY SECTION 386.041, F.S.
(M) UPON FINAL APPROVAL OF THE ABANDONMENT, THE WATER COLLECTED IN THE TANK SHALL BE UTILIZED FOR NON-POTABLE, IRRIGATION PURPOSES ONLY.
RULEMAKING AUTHORITY 381.0065, 489.553, 489.557 FS. LAW IMPLEMENTED 381.0065, 381.0065, 381.0066, PART 1 386 FS. HISTORY-NEW 12-22-82, AMENDED 2-5-85, FORMERLY 100-6.53, AMENDED 3-17-92, 1-3-95, FORMERLY 100-6.053, AMENDED 6-18-03, 6-25-09.

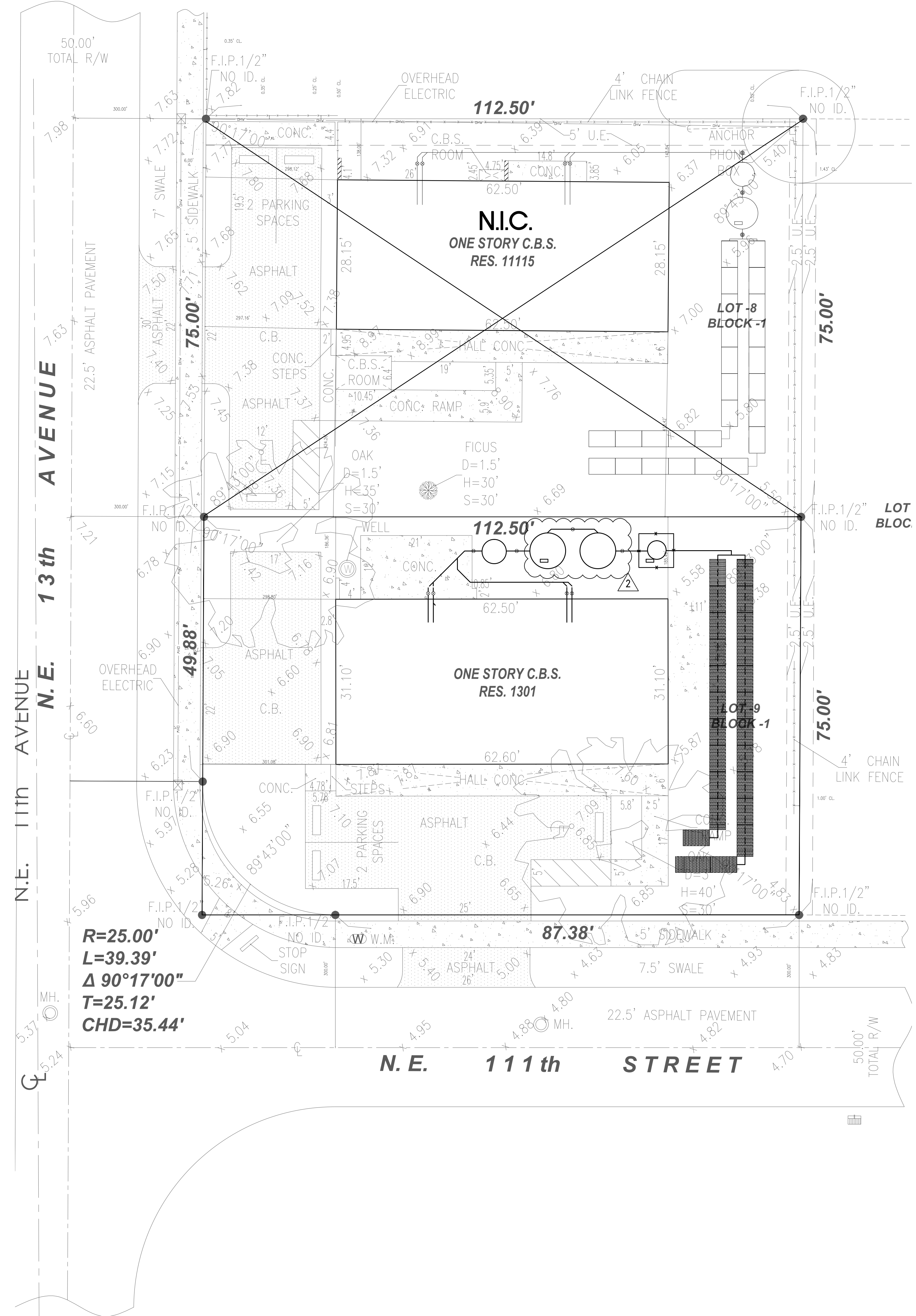
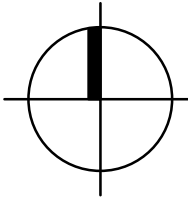


DUPLEX SEWAGE PUMPS - PACKAGE DETAIL N.T.S.

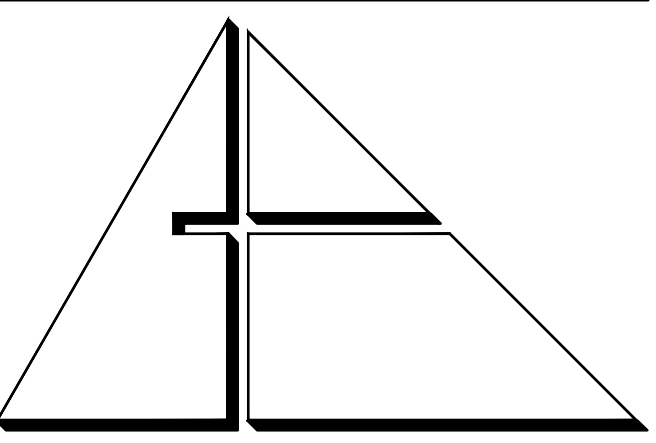
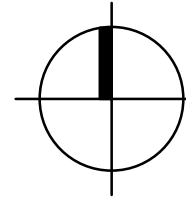
PLAN MARK	MFG. NAME	MODEL	PUMP HEAD (FT)	PUMP CAPACITY (G.P.M.)	H.P.	VOLT PHASE
SP-1	BELL & GOSSET	DUPLEX GRINDER PUMP PACKAGE DPGSN4 WITH A BASIN KIT. 2) PUMPS MODEL 12GS2012 (1) DUPLEX OUTDOOR CONTROL PANEL D10020 (3) MECHANICAL LEVEL SWITCH A2D23W. 4) 639 CAST IRON PUMP LEG. (1) BASIN D4UGR84, 36" DIAMETER 84" TALL FIBERGLASS	20	30 GPM/PUMP ALTERNATE OPERATION NOT SIMULTANEOUS OPERATION	2	208/1/60



PLUMBING PLAN 1/8" = 1'-0"



PLUMBING SITE PLAN 3/32" = 1'-0"



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:
MECHANICAL ELECTRICAL PLUMBING ENGINEER:
CORTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 356-8977 FAX: (305) 214-9456
Certificate of Authorization #3144
www.cortek-engineering.com
Cortek Project No. 2867.03

This document and the information it contains is the exclusive property of Cortek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Cortek Engineering.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 NE 111 ST.

MIAMI, FL

DRAWING TITLE:

SEPTIC TANK
SITE AND NEW
WORK PLAN

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: February, 05, 2015

REVISED:

- 1 06-15-15 DDH COMMENTS
- 2 07-24-15 DDH COMMENTS

CAD DRAWING NAME:

SHEET NO.

P-6

HVAC GENERAL NOTES

- THE WORK THAT IS TO BE DONE UNDER THIS HEADING INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT PERMITS, FEES, INSPECTIONS, TEST, INSURANCE, ETC., REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING HEATING AND VENTILATION SYSTEMS SHOWN ON DRAWINGS OR LISTED BELOW.
- THE DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY BEND, OFF-SET, ELBOW OR OTHER FITTINGS WHICH MAY BE REQUIRED FOR THE INSTALLATION IN THE SPACE ALLOCATED, OR FOR COORDINATION WITH OTHER TRADES.
- DRAWINGS ARE NOT TO BE SCALED. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SITE CONDITIONS SHALL GOVERN EXACT LOCATION OF MECHANICAL EQUIPMENT AND APPURTENANCES.
- INTENT:
IT IS THE INTENT OF THE PLANS AND GENERAL NOTES TO PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL NECESSARY ITEMS REQUIRED, EVEN THOUGH ITEMS ARE NOT INDICATED ON THE DRAWINGS OR IN THE NOTES. WORK CONSIDER NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER NOT SHOWN ON THE PLANS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IN WRITING PRIOR TO BIDS OTHERWISE WORK SHALL NOT BE ADDITIONALLY CHARGED AFTER BID IS AWARDED.
- DEFINITIONS:
A. PROVIDE - MEANS TO FURNISH AND INSTALL.
B. UNDER THIS SECTION - MEANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE DONE BY AND PAID FOR BY THE CONTRACTOR.
C. BY THIS SECTION - MEANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE DONE BY AND PAID FOR BY THE CONTRACTOR.
- INDOOR AIR QUALITY PRECAUTIONS:
A. THE CONTRACTOR SHALL ALLOW FOR NECESSARY VENTILATION DURING CONSTRUCTION TO AVOID INDOOR AIR POLLUTION.
B. THE CONTRACTOR SHALL PREPARE WRITTEN DIRECTION BY WHICH THE BUILDING OWNER OR ITS REPRESENTATIVE WILL BE ABLE TO OPERATE THE VENTILATION SYSTEMS AT ITS OPTIMAL LEVEL.
- OUTDOOR AIR QUALITY PRECAUTIONS:
THE CONTRACTOR SHALL ALLOW FOR NECESSARY PRECAUTIONS DURING CONSTRUCTION AND THEREAFTER FOR THE INSTALLATION AND HANDLING OF REFRIGERANTS. THE CONTRACTOR SHALL PREPARE WRITTEN DIRECTIONS BY WHICH THE BUILDING OWNER OR ITS REPRESENTATIVE WILL BE ABLE TO HANDLE REFRIGERANT IN A SAFE AND APPROVED MANNER.
- SUBMIT A COMPLETE "AS-BUILT" RECORD SET IN ELECTRONIC AUTOCAD DWG FILE'S FORM TO ARCHITECT/ ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUISITION.
- A. HVAC EQUIPMENT, AIR DISTRIBUTION, FANS MATERIALS, ETC., SHALL BE AS LISTED HEREIN AND/OR SHALL BE AS SCHEDULED ON THE DRAWINGS.
B. MANUFACTURERS USE FOR THE BASIS OF DESIGN ARE LISTED ON THE DRAWING SCHEDULE, ANY OTHER MUST MEET OR EXCEED ALL SPECIFIED REQUIREMENTS. NAMING ACCEPTABLE MANUFACTURERS DOES NOT RELIEVE CONTRACTOR FROM COMPLIANCE WITH ALL DESIGN REQUIREMENTS SHOWN ON DRAWINGS OR LISTED HEREIN.
- CUT ALL OPENINGS, CHASES, TRENCHES, ETC. REQUIRED TO ACCOMMODATE THE WORK UNDER THIS DIVISION AND REPAIR ALL WALLS, ROOF, ETC. DAMAGED BY SUCH CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO FINISH AND QUALITY OF MATERIALS AND WORKMANSHIP SPECIFIED UNDER APPROPRIATE SECTIONS FOR THIS BUILDING.
- VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING ANY EQUIPMENT.
- SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK AND EQUIPMENT FOR REVIEW BY ARCHITECT/ENGINEER PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF THIS WORK WITH THAT OF ALL OTHER TRADES.
- OBTAIN FULL INFORMATION REGARDING PECULIARITIES AND LIMITATIONS OF SPACE AVAILABLE FOR INSTALLATION OF THE EQUIPMENT AND MATERIALS UNDER THIS CONTRACT, AND PROVIDE READY ACCESSIBILITY TO DAMPERS, VALVES AND OTHER APPARATUS, INCLUDING ANY PART OF SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
- DUCTWORK:
A. TOILET AND DRYER EXHAUST DUCTWORK SHALL BE CONSTRUCTED OF SOLID ZINC COATED GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.S.H.R.A.E. GUIDE AND S.M.A.C.N.A. RECOMMENDATIONS.
D. ALL DUCT SIZES SHOWN ARE CLEAR INSIDE (AIRSIDE) DIMENSIONS.
E. ALL DUCT ELBOWS SHALL BE FITTED WITH TURNING VANES (EXCEPT DRYER EXHAUST WHICH SHALL BE LONG SMOOTH ROUND ELBOW).
16. INSULATION:
A. PIPING - CONDENSATE PIPING SHALL BE INSULATED WITH 3/4" FIRE RATED FLEXIBLE FOAM INSULATION. FINISH WHERE EXPOSED WITH 2 COATS OF WHITE LATEX PAINT AS PER THE MANUFACTURER'S INSTRUCTION.
17. FLAME AND SMOKE RATING: ALL INSULATION PRODUCTS USED INSIDE THE BUILDING SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE GENERATION OF 50 IN ACCORDANCE WITH TESTS OUTLINED IN N.F.P.A. #255.
18. FILTERS:
A. PROVIDE TWO SETS OF TEMPORARY FIBERGLASS THROWAWAY FILTERS OF THE SAME THICKNESS AS FINAL FILTERS FOR USE DURING CONSTRUCTION.
B. PROVIDE TWO COMPLETE SETS OF FINAL FILTERS.
19. VIBRATION ISOLATORS:
A. CONDENSING UNITS SHALL BE MOUNTED ON 1" THICK NEOPRENE PADS, THRU-BOLTED TO HOT DIPPED GALVANIZED WELDED STEEL ANGLE.
20. CONTROLS:
A. ALL ELECTRIC WIRING AND CONDUIT SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
B. WIRELESS THERMOSTAT SHALL BE HEAT-COOL PROGRAMMABLE WITH FAN AND SELECTOR SWITCHES.
21. ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR THE PERIOD OF ONE YEAR. COMPRESSORS SHALL CARRY 5 YEAR FACTORY GUARANTEE. FURNISH 90 DAYS FREE SERVICE.
22. ALL FAN DRIVES SHALL BE ADJUSTED TO DELIVER THE SPECIFIED CFM AGAINST THE ACTUAL STATIC PRESSURE OF THE INSTALLATION.
23. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
24. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND 170 MPH HURRICANE FORCE WINDS.
26. TESTING:
A. BALANCE AIR SYSTEM TO DELIVER SPECIFIED QUANTITIES AT EACH OUTLET WITHIN 10% USING A.A.B.C. PROCEDURES AND TESTS. SUBMIT AIR BALANCE TEST RESULTS FOR REVIEW PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
B. SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DUCTWORK AND EQUIPMENT FOR REVIEW PRIOR TO INSTALLATION AND/OR FABRICATION.
C. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD BUILDING CODE NFPA 90B, 90D AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
E. CONTRACTOR SHALL BE RESPONSIBLE TO TEST AND BALANCE THE SYSTEM TO ACHIEVE RATES AS SHOWN ON PLANS AND SCHEDULES. TEST/BALANCE RESULTS SHALL BE SUBMITTED TO ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUISITION.
26. FANS (COOK IS THE BASIS OF DESIGN)
A. PROVIDE FANS AS SCHEDULED ON DRAWINGS
B. INSTALLATION
1. INSTALL FANS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. LOCATE EXHAUST FANS A MINIMUM OF 10'-0" (HORIZONTAL DISTANCE) AWAY FROM ANY OUTSIDE AIR INTAKE, OPERABLE WINDOW AND/OR DOOR.
3. PROVIDE CONTROL LOW VOLTAGE TRANSFORMERS, TEN MINUTE TIME-OFF DELAY RELAYS AND BACK DRAFT DAMPERS, SEAL ALL STRUCTURAL ROOF AND WALL OPENINGS AIR AND WATER TIGHT.
30. THRU THE WALL AIR CONDITIONERS (FRIEDRICH IS THE BASIS OF DESIGN)
UNITS SHALL BE PROVIDED WITH:
A. SEA COAST PROTECTION, (110,000 HOURS MINIMUM)
B. WIRELESS REMOTE CONTROL, 3 SPEED FAN CONTROL AND PROGRAMMABLE TIMER,
C. OUTSIDE AIR DUCT WITH DAMPER SET @ 30 CFM.
D. INSECT BARRIER, WASHABLE ANTIMICROBIAL AIR FILTER.
E. STEEL INNER WALL AND EXTRA DENSE INSULATION AND VIBRATION ISOLATION.
F. INSTALL WALL SLEEVE SLOPED PER MFG RECOMMENDATIONS.
G. ENTRY-GARD ANTI-INTRUSION PROTECTION.
H. PROVIDE 5 YEARS WARRANTY ON COMPRESSORS BY MANUFACTURER AND ONE YEAR WARRANTY ON PARTS AND LABOR.
I. SECURE A/C UNITS ON CONCRETE WALL TO WITHSTAND 170 MPH HURRICANE FORCE WINDS

AIR CONDITIONING LEGEND	
SYMBOL	DESCRIPTION
A/C	THRU THE WALL AIR CONDITION UNIT
BTM.	BOTTOM
COND.	CONDENSATE
CONC.	CONCRETE
CFM	CUBIC FEET PER MINUTE
E.F.	EXHAUST FAN
F.L.A.	FULL LOAD AMPS
F.P.M.	FEET PER MINUTE
H.P.	HORSEPOWER
H.R.	HOUR
IN.	INCH
K.W.	KILOWATT
LBS.	POUNDS
MAX.	MAXIMUM
MVD	MANUAL VOLUME DAMPER (OPPOSED BLADE)
NO.	NUMBER
O/A	OUTSIDE AIR
RPM.	REVOLUTIONS PER MINUTE
R/A	RETURN AIR
REF.	REFRIGERANT
S/A	SUPPLY AIR
TEMP.	TEMPERATURE
"A"	AIR DISTRIBUTION DESIGNATION
Ⓢ	PROGRAMMABLE THERMOSTAT
Ⓢ	EXHAUST OR RETURN AIR DUCT SECTION
Ⓢ	OPPOSED BLADE MANUAL VOLUME DAMPER
Ⓢ	1" UNDER CUT DOOR (ALL BEDROOMS AND BATHROOMS)

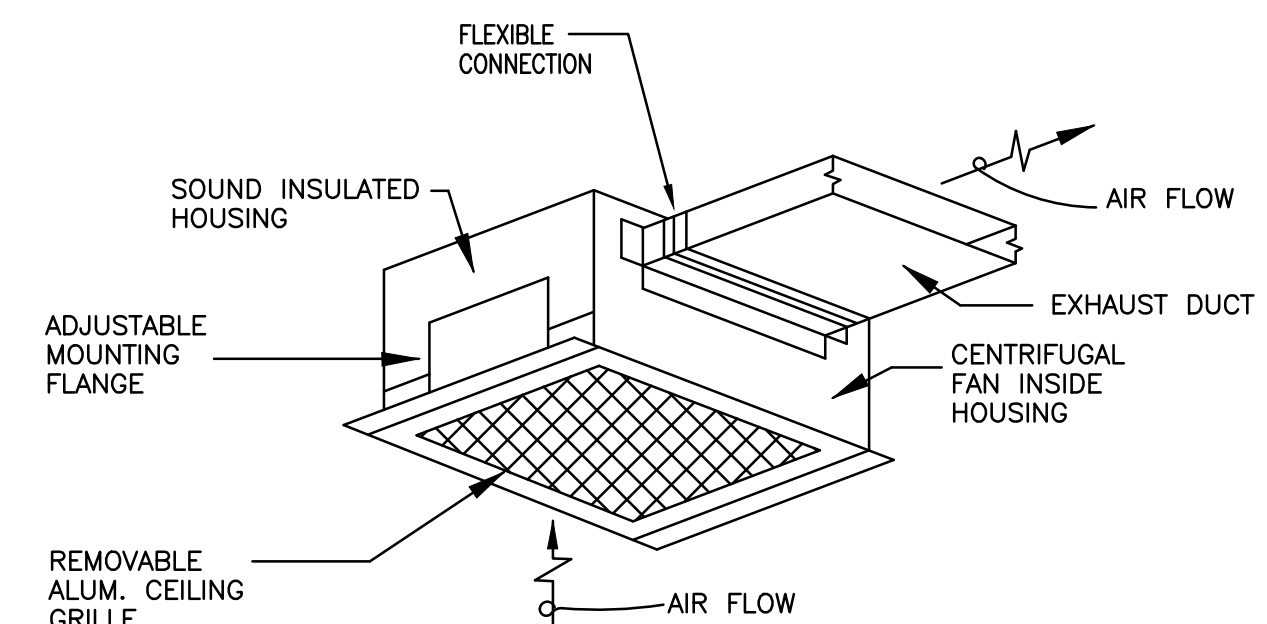
HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR		
FIRE DAMPER(S)		
SMOKE DAMPER(S)		
FIRE RATED ENCLOSURE		
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		
FIRE STOPPING		
SMOKE CONTROL SUPPLY		

BUILDING DATA (SEE ARCH DWGS)	
WALL R VALUE	R-5
GLASS (ARGON/LOW E) U VALUE	U-0.97
GLASS (ARGON/LOW E) SHGC	SHGC-0.36
ROOF R VALUE	R-30

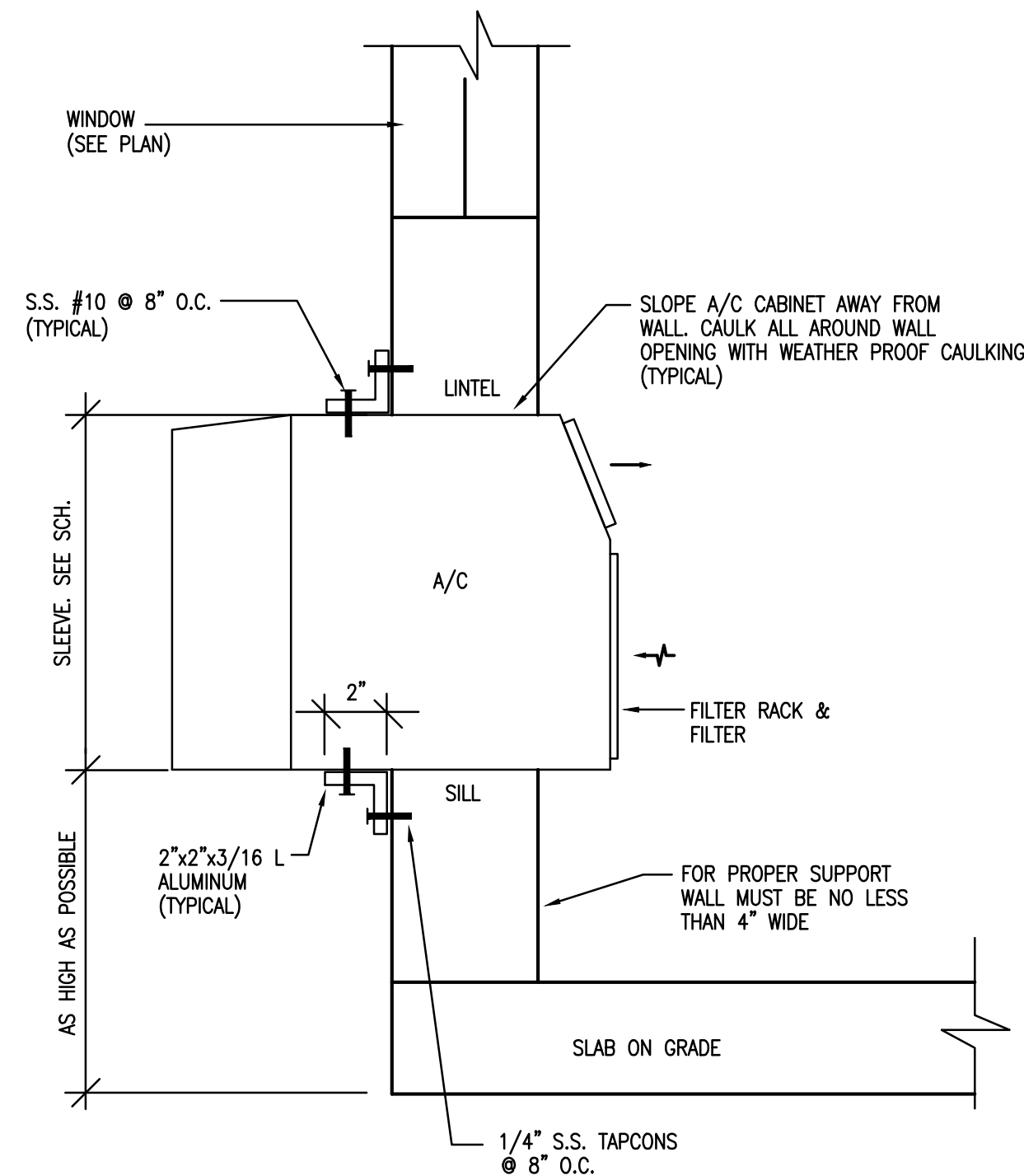
NOTE:
1. ALL R AND U VALUES ARE AS PROVIDED TO THIS ENGINEER BY THE ARCHITECT.

VENTILATION FAN SCHEDULE	
UNIT DESIGNATION	EF-1
AREA SERVED	SEE PLAN
OPERATING WEIGHT, LBS.	18
LOCATION	CEILING
FAN TYPE	CEILING MNTD.
TOTAL AIR, CFM	50
DRIVE TYPE	DIRECT
FAN WHEEL TYPE	CENTRIFUGAL
FAN TIP SPEED, FPM MAX.	1125
FAN SPEED, RPM	-
TOTAL STATIC PRESSURE, IN. OF H2O	0.125
FAN MOTOR WATTS	29 W
FAN MOTOR STARTER TYPE	-
STARTER FURNISHED BY	CONTRACTOR
ELECTRICAL SERVICE AVAILABLE	120/19/60
SONES	2.4
DESIGN MANUFACTURER	COOK - GEMINI
DESIGN MFG. MODEL NUMBER	LITTLE GEM-1
SERVICE SWITCH	YES
SMOKE DETECTORS	NO
FIRE DAMPER	NO
CONSTRUCTION	GALVANIZED STEEL
MULTI-BLADE BACKDRAFT DAMPER	YES
BROSCREEN	YES
SOLID STATE SPEED CONTROL	NO
THERMOSTAT CONTROL	NO
FACTORY FABRICATED CURB MODEL No.	NO
10 MIN. TIME OFF DELAY RELAY	YES

NOTES: 1- PROVIDE ALUMINUM EXHAUST GRILLE (TYP.)
2- ACCEPTABLE MANUFACTURERS COOK, GREENHECK OR PENN
3- EXHAUST FANS SHALL BE INTERLOCKED WITH CORRESPONDING LIGHT SWITCH (TYP.)



TYPICAL CEILING TYPE EXHAUST FAN DETAIL
N.T.S.

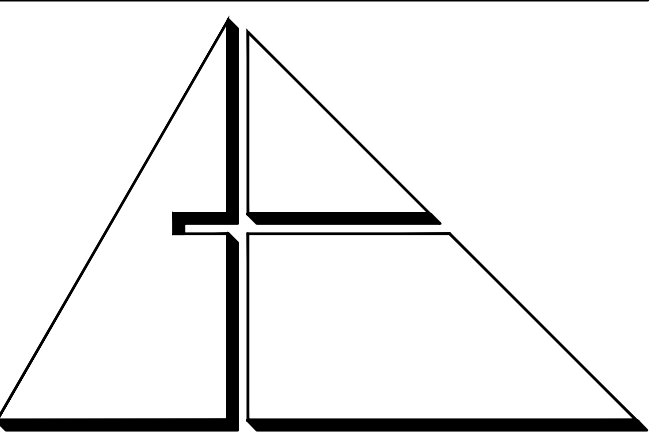


WINDOW TYPE UNIT MOUNTING DETAIL
N.T.S.

NOTE:
1. INSTALL PER MANUFACTURER RECOMMENDATION
2. CAULK / SEAL ALL AROUND THE SLEEVE (PENETRATION).
3. PROVIDE ENTRY-GARD ANTI INTRUSION PROTECTION.

ROOM TYPE A/C UNIT SCHEDULE		
UNIT DESIGNATION	A/C-1301-1B A/C-1301-4B	A/C-1301-1A A/C-1301-4A A/C-1301-2 A/C-1301-3
MOUNTING TYPE	THRU THE WALL	THRU THE WALL
AREA SERVED	SEE PLAN	SEE PLAN
DESIGN MANUFACTURER	FRIEDRICH	FRIEDRICH
UNIT TYPE	ELECTRIC HEATER	HEAT PUMP
DESIGN MFG. MODEL NO.	E008N11	YS12N33
AIR FLOW (CFM)	175	265
OUTSIDE AIR FLOW (CFM)	30	30
COOLING CAPACITY BTU/HR.	7,600	11,500/11,300
AIR ENTERING EVAPORATOR °F DB/WB	80/67	80/67
AIR LEAVING EVAPORATOR °F DB/WB	56/-	56/-
ELECTRIC HEATING CAPACITY BTU/HR	4,000	-
FAN MOTOR WATTS	-	9,400/9,000
HEAT PUMP CAPACITY BTU/HR	-	2.4/8.2
ODP / HSPF	-	-
ELECTRICAL SERVICE AVAILABLE	115-1-60	230-1-60
UNIT TOTAL AMPS, F.L. COOL/HEAT	6.9 / 11.2	5.4/5.8
ENERGY EFFICIENCY RATIO (E.E.R.) MIN.	10.5	10.5
WEIGHT LBS.	84 LBS	136 LBS
SLEEVE	YES	YES
REFRIGERANT	R-410A	R-410A
DIMENSIONS (HxWxD)	-	16x26x29

NOTES:
1. ALL A/C UNITS SHALL BE PROVIDED WITH OUTSIDE AIR DAMPER, INSECT BARRIER, WASHABLE ANTIMICROBIAL AIR FILTER, STEEL INNER WALL AND EXTRA DENSE INSULATION AND VIBRATION ISOLATION FILTER.
2. UNITS SHALL BE PROVIDED WITH 3 SPEED FAN CONTROL, PROGRAMMABLE TIMER AND WIRELESS REMOTE CONTROL.
3. ALL A/C UNIT SHALL BE PROVIDED WITH ENTRYGARD ANTI-INTRUSION PROTECTION.



ALLEGUEZ ARCHITECTURE, INC.
ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT
901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
AA C 0 0 2 7 4 6

CONSULTANTS:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
GARTER ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 564-8977 FAX: (305) 214-9496
Certificate of Authorization #3144
www.garter-engineering.com

Gartek Project No. 2867

This document and the information it contains is the exclusive property of Gartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Gartek Engineering.

PROJECT:

**CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.**

Owner's Representative:

Lori B. Solo
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

**MECHANICAL
NOTES, SCHEDULES
AND DETAILS**

SCALE:

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: September 15, 2014

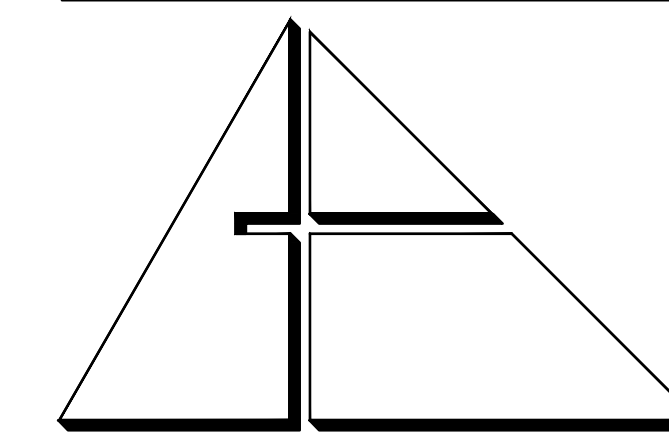
REVISED:

CAD DRAWING NAME:

SHEET NO.

M-1

BID SET



ALLEGUEZ
ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@beltsouth.net
■ AA C 0 0 2 7 4 6 ■

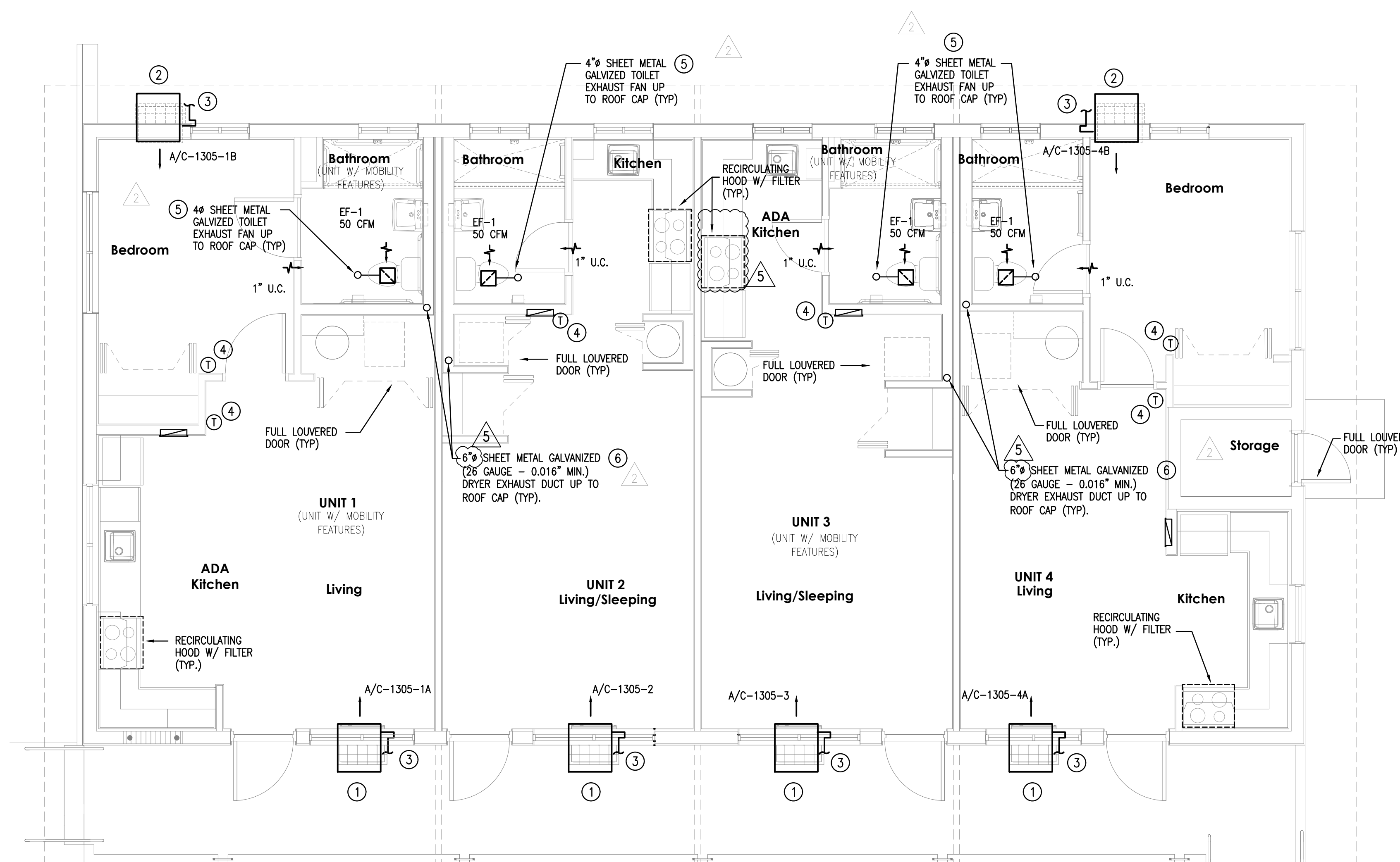
CONSULTANTS:

MECHANICAL ELECTRICAL PLUMBING ENGINEER:

CARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 356-8977 FAX: (305) 214-9456
Certificate of Authorization #3144
www.gortek-engineering.com

Cartek Project No. 2867

This document and the information it contains is the exclusive property of Cartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Cartek Engineering.



MECHANICAL FLOOR PLAN
11115 NE 13 Ave
1/4" = 1'-0"

CODED NOTES:

- ① NEW THRU THE WALL A/C UNIT BELOW EXIST. WINDOW, SEE MOUNTING DETAIL ON DWG M-1 (TYPICAL)
- ② NEW THRU THE WALL A/C UNIT HIGH MOUNTING, SEE ARCH DWGS. FOR EXACT LOCATION AND DWG M-1 FOR MOUNTING DETAIL (TYPICAL)
- ③ 2" INSULATED CD LINE W/ TRAP, FOR CONT. SEE PLUMBING DWGS. (TYPICAL)
- ④ WIRELESS REMOTE THERMOSTAT, VERIFY EXACT LOCATION IN FIELD. (TYPICAL)
- ⑤ BATHROOM EXHAUST SYSTEM ROOF CAP SHALL BE PROVIDED WITH A CORROSION RESISTANT SCREEN. (TYPICAL)
- ⑥ ALL DRYER EXHAUST DUCT SHALL BE PROVIDED WITH SHEET METAL GALVANIZED BACKDRAFT DAMPER. (TYPICAL)

NOTE:

- 1. THERMOSTA SHALL BE INSTALLED AT MAX. 48" A.F.F. ON ALL ADA UNITS.

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 N.E. 111 ST.

Owner's Representative:

Lori B. Solo
City of Miami
Department of Community Development
(305) 416-2084
444 SW 2nd Avenue
Miami, FL 33130

DRAWING TITLE:

MECHANICAL
FLOOR PLAN

SEAL

ROBERT BETANCOURT P.E. (MECHANICAL)
LICENSE NO. 34788

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE: September 15, 2014

REVISED:

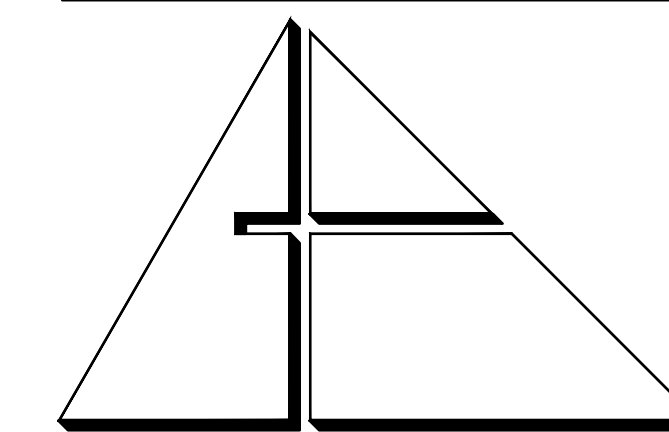
- △ 10-20-13 BACKGROUND CHANGE
- △ 12-13-13 BLDG. DEPT. COMMENTS
- △ 01-16-17 PLAN UPDATE

CAD DRAWING NAME:

SHEET NO.

BID SET

M-2



ALLEGUEZ
ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 481 4001 (FAX) 481 6002
E-MAIL alleguez@bellsouth.net
■ AA C 0 0 2 7 4 6 ■

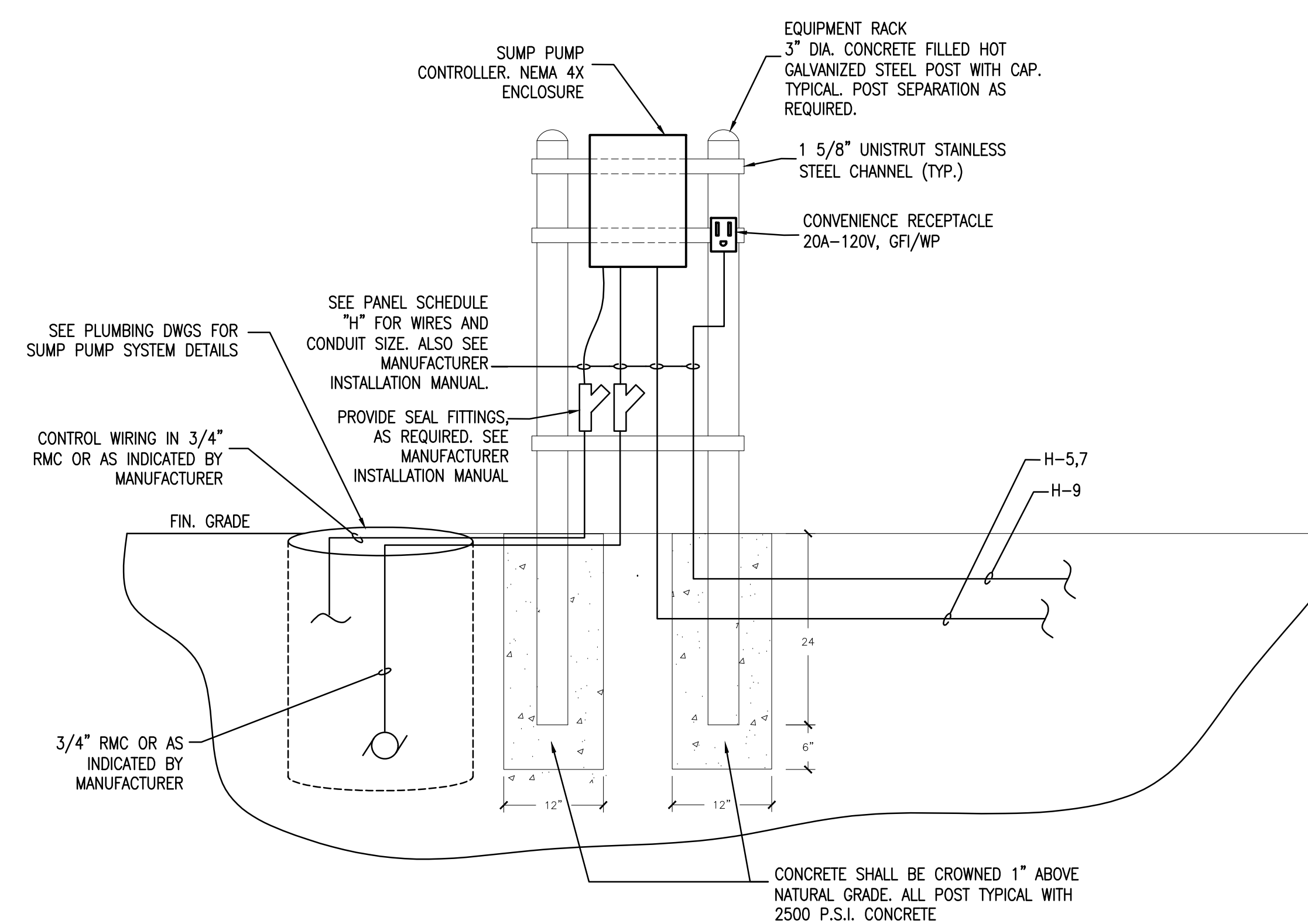
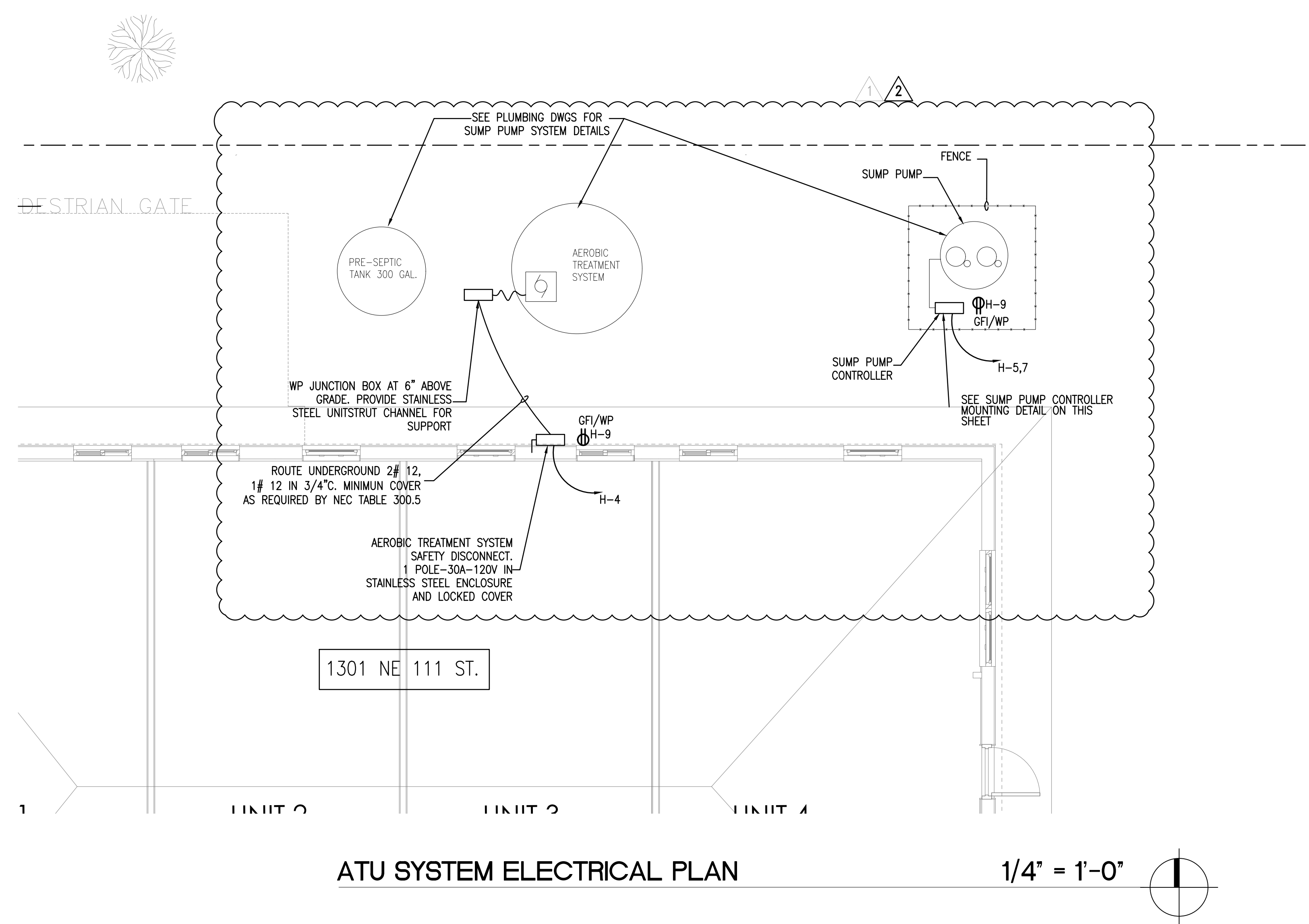
CONSULTANTS:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

CARTEK ENGINEERING CORP.
7210 SOUTHWEST 39TH TERRACE
MIAMI, FLORIDA 33155
TEL: (305) 356-8997 FAX: (305) 214-9494
Certificate of Authorization #3144
www.gortek-engineering.com

Cartek Project No. 2867.03

This document and the information it contains is the exclusive property of Cartek Engineering and may not be reproduced or used for other purposes other than the specific project for which it was prepared without the explicit consent of Cartek Engineering.



SEWAGE PUMP CONTROLLER MOUNTING DETAIL

NTS

PROJECT:

CITY OF MIAMI
LIFE QUEST
RENOVATIONS
1301 NE 111 ST.

MIAMI, FL

DRAWING TITLE:

ATU SYSTEM
ELECTRICAL PLAN

SCALE

M. F. GARCIA P.E. (ELECTRICAL)
LICENSE NO. 24221

To my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes.

DATE:

February 05, 2015

REVISED:

1	06-15-15	DOH. COMMENTS
2	07-24-15	DOH. COMMENTS

CAD DRAWING NAME:

SHEET NO.

BID SET

E-3