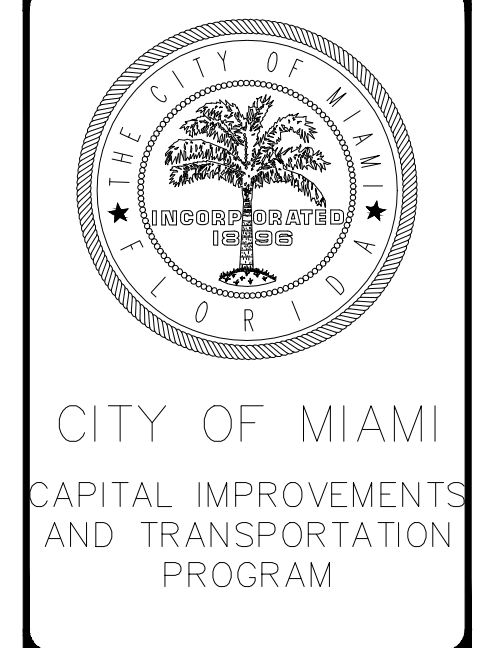
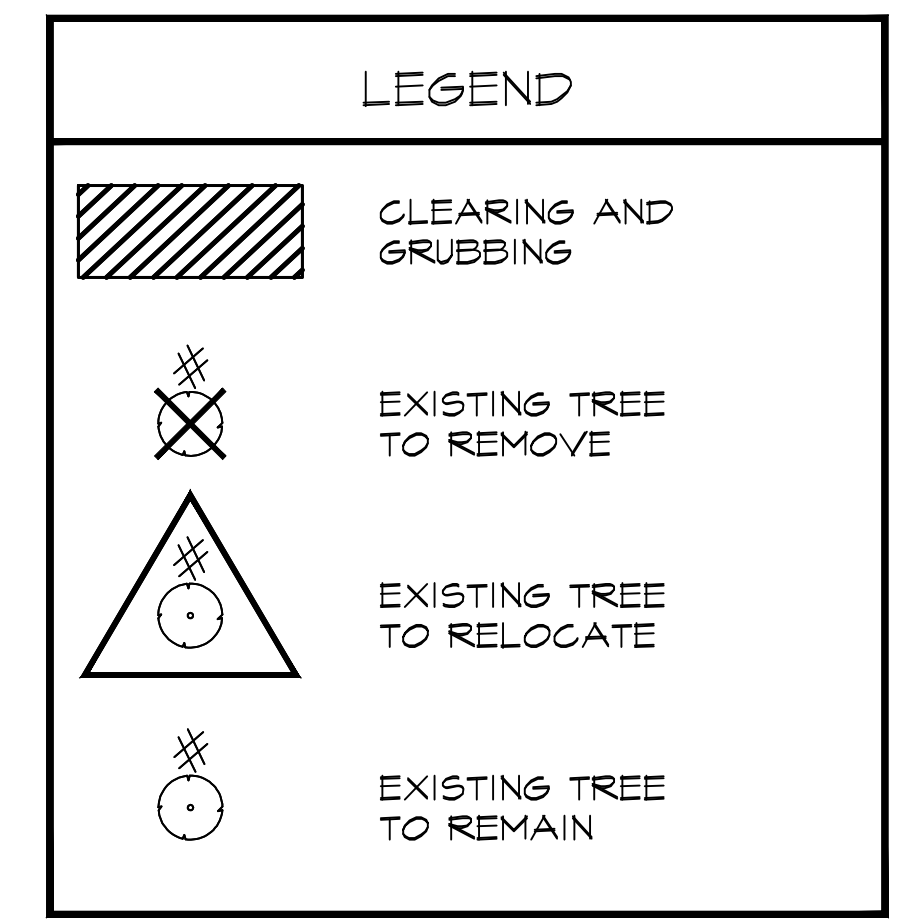
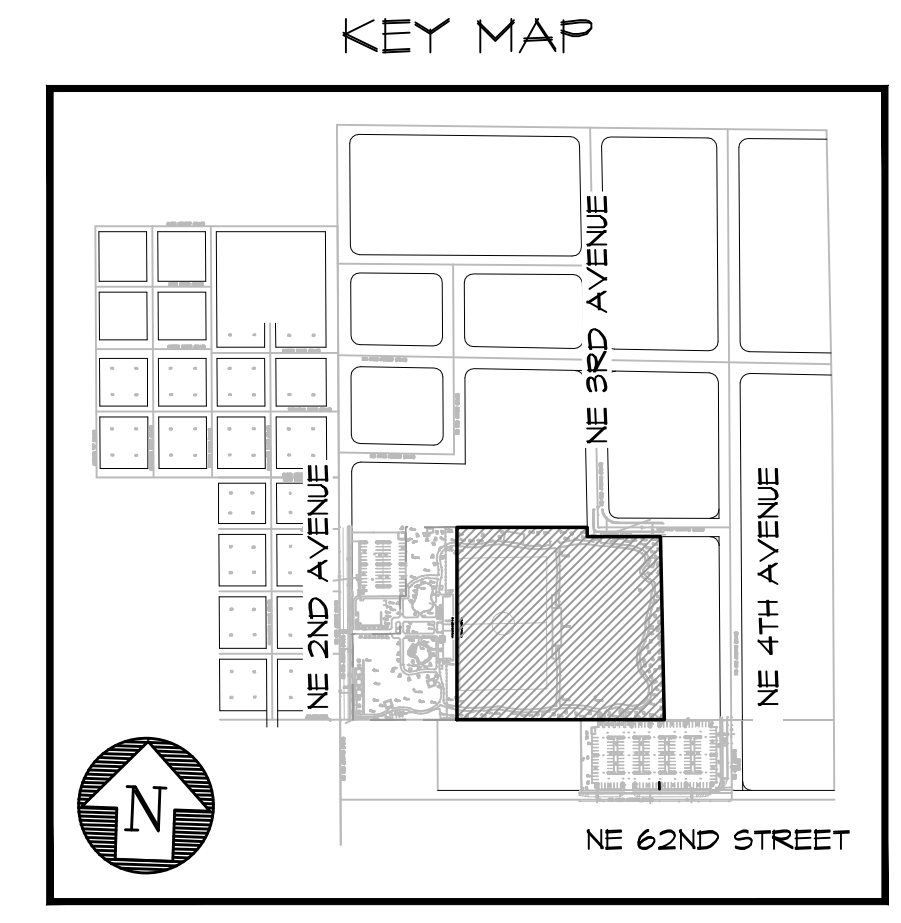
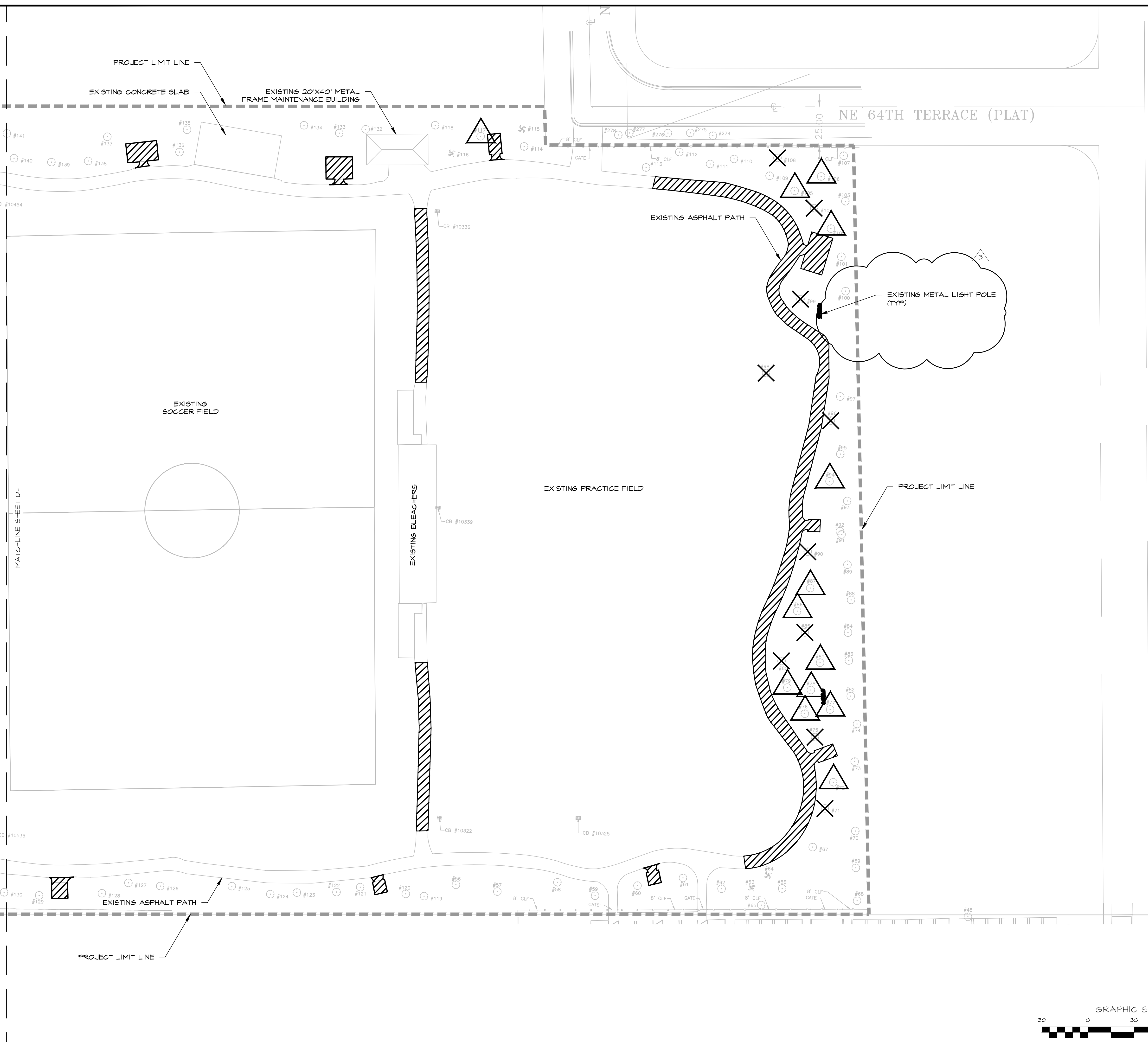


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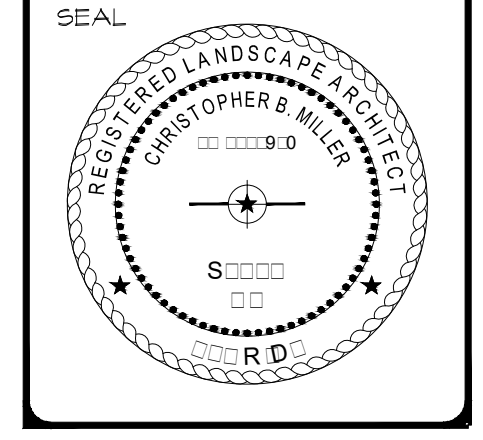


DEMOLITION PLAN  
LITTLE HAITI SOCCER PARK  
(EXISTING SOCCER PRACTICE FIELD IMPROVEMENTS AND ASSOCIATED AMENITIES)  
4650 NE 4 AVENUE  
MIAMI, FL 33138

DATE: 04/20/2016  
DESIGN: Christopher Miller  
DRAWN: CM / JN  
CHECKED: CM  
REVISIONS:  
03/31/2017 JN REVISIONS PER CITY REVIEW COMMENTS

JOB No. B-40516  
FILE:

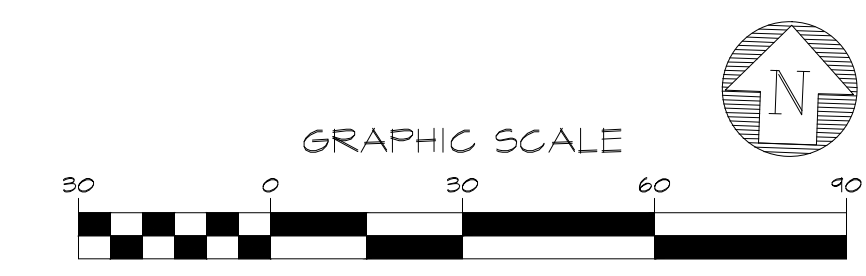
ARCHITECT/ENGINEER:  
CHRISTOPHER MILLER  
Landscape Architect  
LA# 6666910



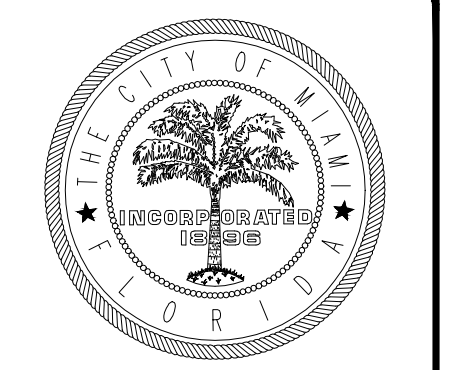
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SHEET No.  
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OF # SHEETS ##

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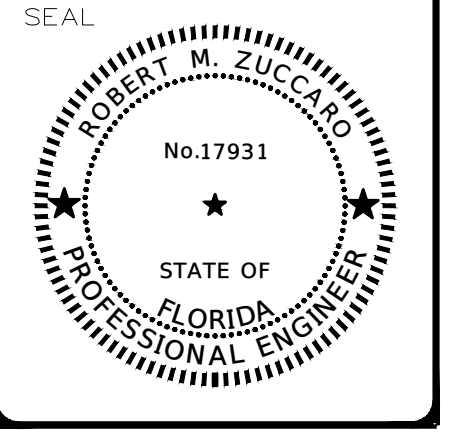


OVERALL SITE PLAN  
 LITTLE HAITI SOCCER PARK  
 (EXISTING SOCCER PRACTICE FIELD IMPROVEMENTS AND ASSOCIATED AMENITIES)

DATE: 11/13/2015  
 DESIGN: JDH  
 DRAWN: AA  
 CHECKED:  
 REVISIONS:  
 1 8/10/2016 Revs per City review comments  
 2 3/31/2017 Revs per City review comments

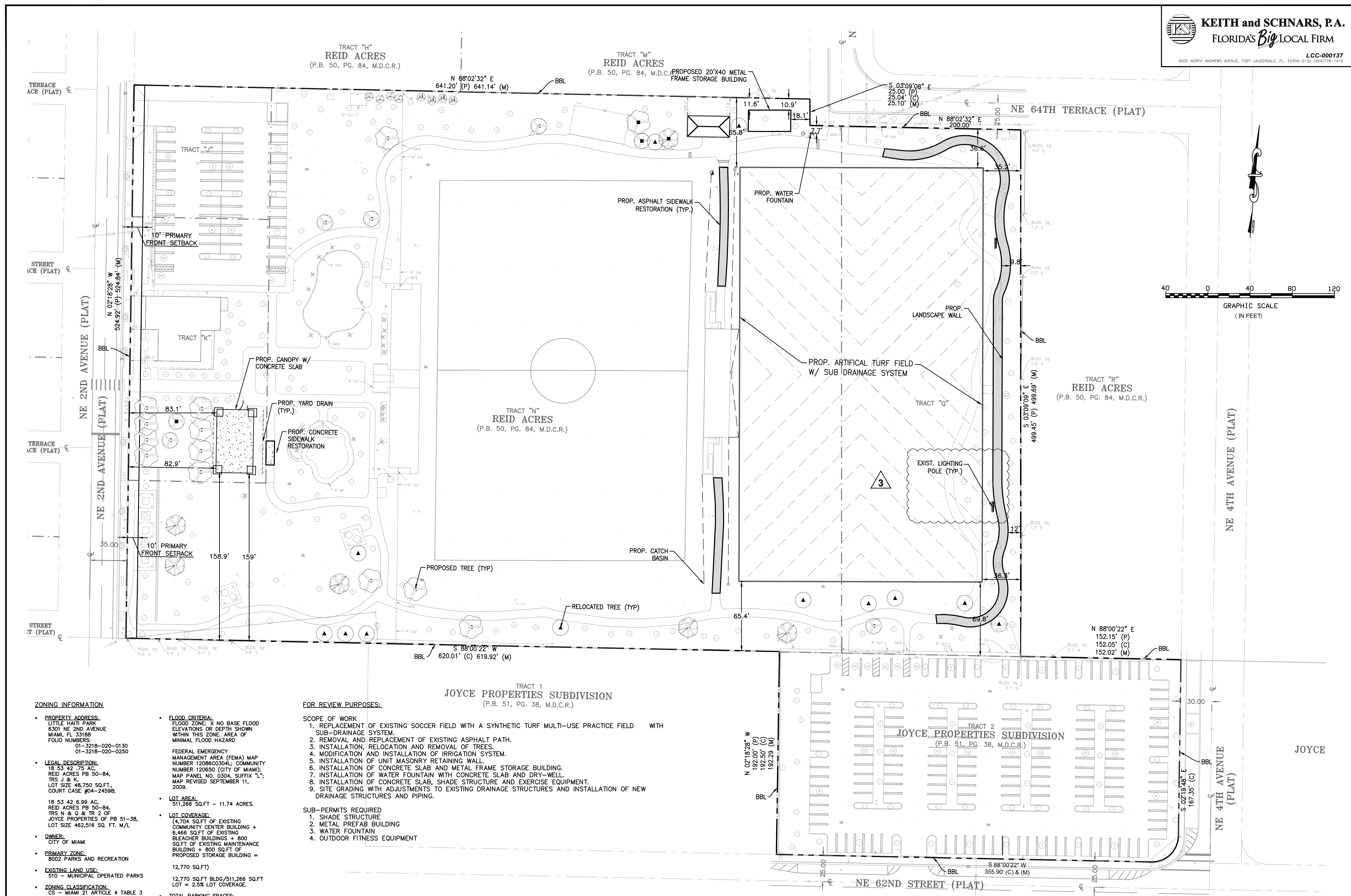
JOB No. B-40516  
 FILE:

ARCHITECT/ENGINEER:  
 ROBERT M. ZUCCARO  
 PROFESSIONAL ENGINEER  
 PE# 17931



SCALE: AS SHOWN

SHEET No.  
 OS-1  
 OF 1 SHEETS 1



**ZONING INFORMATION**

- PROPERTY ADDRESS: LITTLE HAITI PARK, 6301 NE 2ND AVENUE, MIAMI, FL 33185, FOLIO NUMBERS: 01-3218-020-0130, 01-3218-020-0250
- LEGAL DESCRIPTION: 18 53 42 75 AC, REID ACRES PB 50-84, TRS J & K, LOT SIZE 48,750 SQ.FT., COURT CASE #04-24598;
- 18 53 42 6.99 AC, REID ACRES PB 50-84, TRS N & Q & TR 2 OF JOYCE PROPERTIES OF PB 51-38, LOT SIZE 462,516 SQ. FT. M/L
- OWNER: CITY OF MIAMI
- PRIMARY ZONE: 8002 PARKS AND RECREATION
- EXISTING LAND USE: 510 - MUNICIPAL OPERATED PARKS
- ZONING CLASSIFICATION: CS - MIAMI 21, ARTICLE 4 TABLE 3 ABUTTING D1 & T5-L ZONES
- BUILDING SETBACKS: PRINCIPAL FRONT - 10 FT. MIN., SECONDARY FRONT - 10 FT. MIN., SIDE - 0 FT. MIN., REAR - 0 FT. MIN.

**FLOOD CRITERIA:**  
 FLOOD ZONE: X NO BASE FLOOD ELEVATIONS OR DEPTH SHOWN WITHIN THIS ZONE. AREA OF MINIMAL FLOOD HAZARD

**FEDERAL EMERGENCY MANAGEMENT AREA (FEMA) MAP NUMBER 120650304L; COMMUNITY NUMBER 120650 (CITY OF MIAMI); MAP PANEL NO. 0304, SUFFIX "L"; MAP REVISED SEPTEMBER 11, 2009.**

**LOT AREA:**  
 511,266 SQ.FT - 11.74 ACRES.

**LOT COVERAGE:**  
 (4,704 SQ.FT OF EXISTING COMMUNITY CENTER BUILDING + 6,466 SQ.FT OF EXISTING BLEACHER BUILDINGS + 800 SQ.FT OF EXISTING MAINTENANCE BUILDING + 800 SQ.FT OF PROPOSED STORAGE BUILDING = 12,770 SQ.FT)  
 12,770 SQ.FT BLDG/511,266 SQ.FT LOT = 2.5% LOT COVERAGE.

**TOTAL PARKING SPACES:**  
 REGULAR SPACES = 207 SPACE  
 HC SPACES = 9 SPACE  
 216 SPACES

**FOR REVIEW PURPOSES:**

**SCOPE OF WORK**

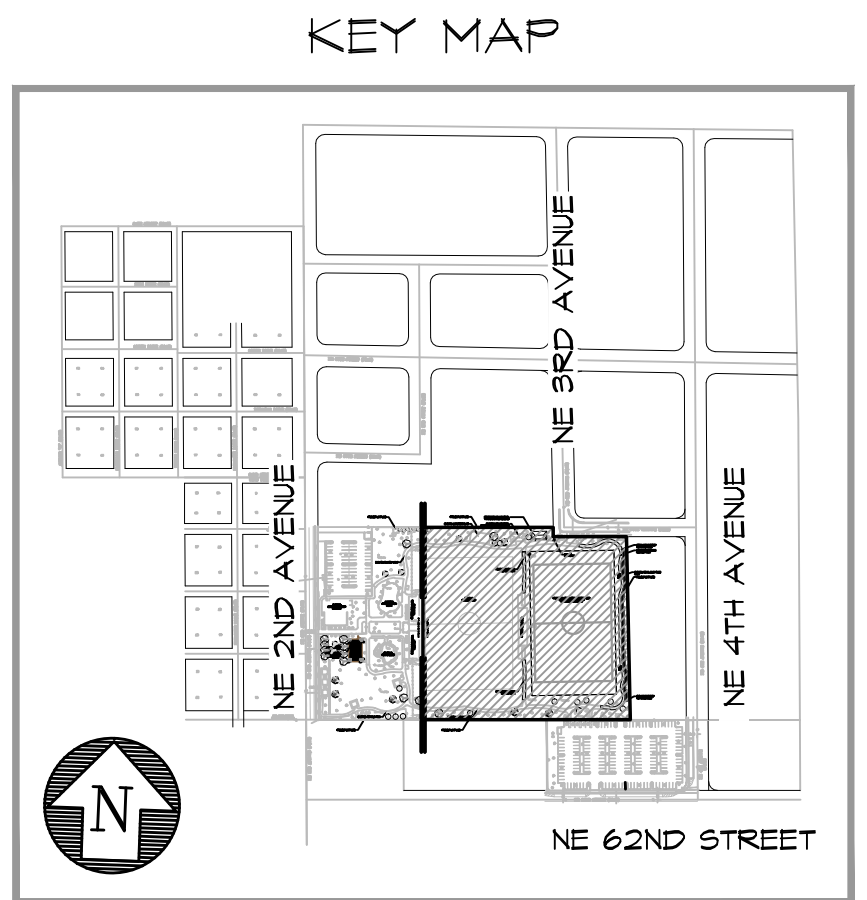
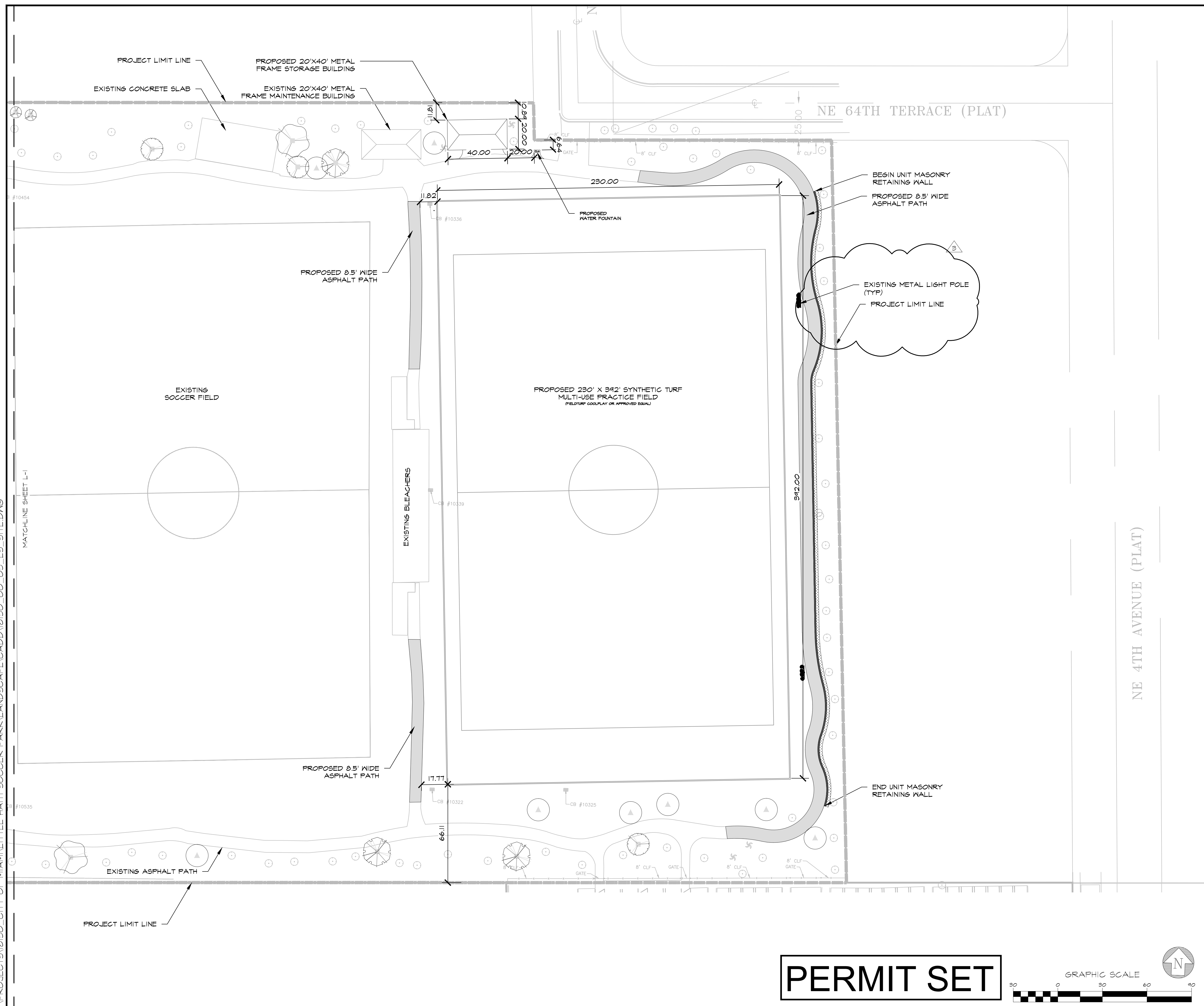
- REPLACEMENT OF EXISTING SOCCER FIELD WITH A SYNTHETIC TURF MULTI-USE PRACTICE FIELD WITH SUB-DRAINAGE SYSTEM.
- REMOVAL AND REPLACEMENT OF EXISTING ASPHALT PATH.
- INSTALLATION, RELOCATION AND REMOVAL OF TREES.
- MODIFICATION AND INSTALLATION OF IRRIGATION SYSTEM.
- INSTALLATION OF UNIT MASONRY RETAINING WALL.
- INSTALLATION OF CONCRETE SLAB AND METAL FRAME STORAGE BUILDING.
- INSTALLATION OF WATER FOUNTAIN WITH CONCRETE SLAB AND DRY-WELL.
- INSTALLATION OF CONCRETE SLAB, SHADE STRUCTURE AND EXERCISE EQUIPMENT.
- SITE GRADING WITH ADJUSTMENTS TO EXISTING DRAINAGE STRUCTURES AND INSTALLATION OF NEW DRAINAGE STRUCTURES AND PIPING.

**SUB-PERMITS REQUIRED**

- SHADE STRUCTURE
- METAL PREFAB BUILDING
- WATER FOUNTAIN
- OUTDOOR FITNESS EQUIPMENT

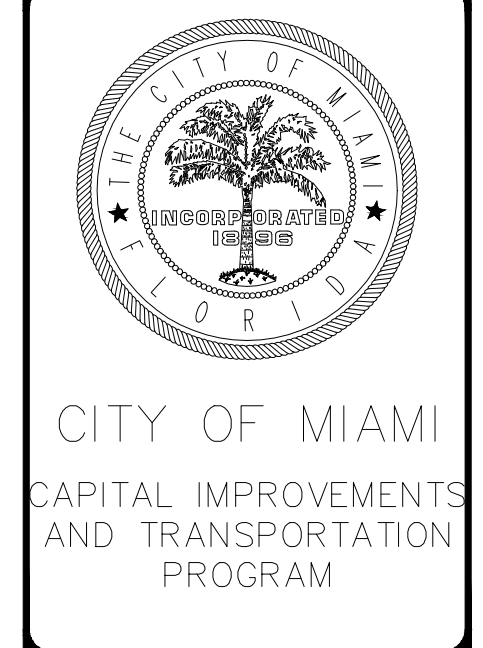
**PERMIT SET**





**ZONING INFORMATION**

- PROPERTY ADDRESS:**  
LITTLE HAITI PARK  
6301 NE 2ND AVENUE  
MIAMI, FL 33188  
FOLIO NUMBERS:  
01-3218-020-0130  
01-3218-020-0250
- LEGAL DESCRIPTION:**  
18 53 42 .75 AC,  
REID ACRES PB 50-84,  
TRS J & K,  
LOT SIZE 48,750 SQ.FT.,  
COURT CASE #04-24598;  
  
18 53 42 6.99 AC,  
REID ACRES PB 50-84,  
TRS N & Q & TR 2 OF  
JOYCE PROPERTIES OF PB 51-38,  
LOT SIZE 462,516 SQ. FT. M/L
- OWNER:**  
CITY OF MIAMI
- PRIMARY ZONE:**  
8002 PARKS AND RECREATION
- EXISTING LAND USE:**  
510 - MUNICIPAL OPERATED  
PARKS
- ZONING CLASSIFICATION:**  
CS - MIAMI 21 ARTICLE 4 TABLE 3
- FLOOD CRITERIA:**  
FLOOD ZONE: X NO BASE FLOOD  
ELEVATIONS OR DEPTH SHOWN  
WITHIN THIS ZONE. AREA OF  
MINIMAL FLOOD HAZARD
- FEDERAL EMERGENCY  
MANAGEMENT AREA (FEMA) MAP  
NUMBER 12086C0304L; COMMUNITY  
NUMBER 120650 (CITY OF MIAMI);  
MAP PANEL NO. 0304, SUFFIX "L";  
MAP REVISED SEPTEMBER 11,  
2009.**
- LOT AREA:**  
511,266 SQ.FT - 11.74 ACRES.
- LOT COVERAGE:**  
(4,704 SQ.FT OF EXISTING  
COMMUNITY CENTER BUILDING +  
6,466 SQ.FT OF EXISTING  
BLEACHER BUILDINGS + 800  
SQ.FT OF EXISTING MAINTENANCE  
BUILDING + 800 SQ.FT OF  
PROPOSED STORAGE BUILDING =  
12,770 SQ.FT)  
  
12,770 SQ.FT BLDG/511,266 SQ.FT  
LOT = 2.5% LOT COVERAGE.
- TOTAL PARKING SPACES:**  
REGULAR SPACES = 207 SPACE  
HC SPACES = 9 SPACE  
216 SPACES



**SITE PLAN (ENLARGEMENT)**

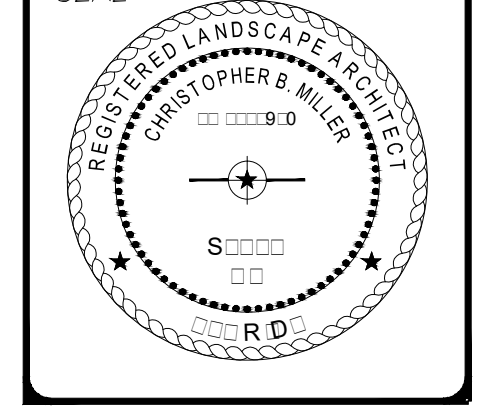
LITTLE HAITI SOCCER PARK  
(EXISTING SOCCER PRACTICE FIELD IMPROVEMENTS AND ASSOCIATED AMENITIES)

6301 NE 2ND AVENUE  
MIAMI, FL 33188

DATE: 04/20/2016  
DESIGN: Christopher Miller  
DRAWN: CM / JN  
CHECKED: CM  
REVISIONS:  
03/31/2017 JN  
REVISIONS PER CITY  
REVIEW COMMENTS

JOB No. B-40516  
FILE:

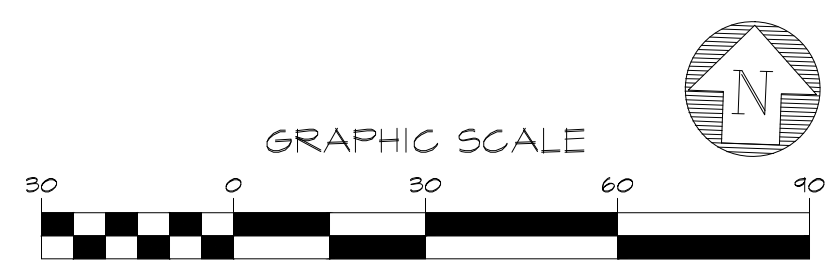
ARCHITECT/ENGINEER:  
CHRISTOPHER MILLER  
Landscape Architect  
LA# 6666910



SCALE: AS SHOWN

SHEET No.  
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OF # SHEETS #

**PERMIT SET**



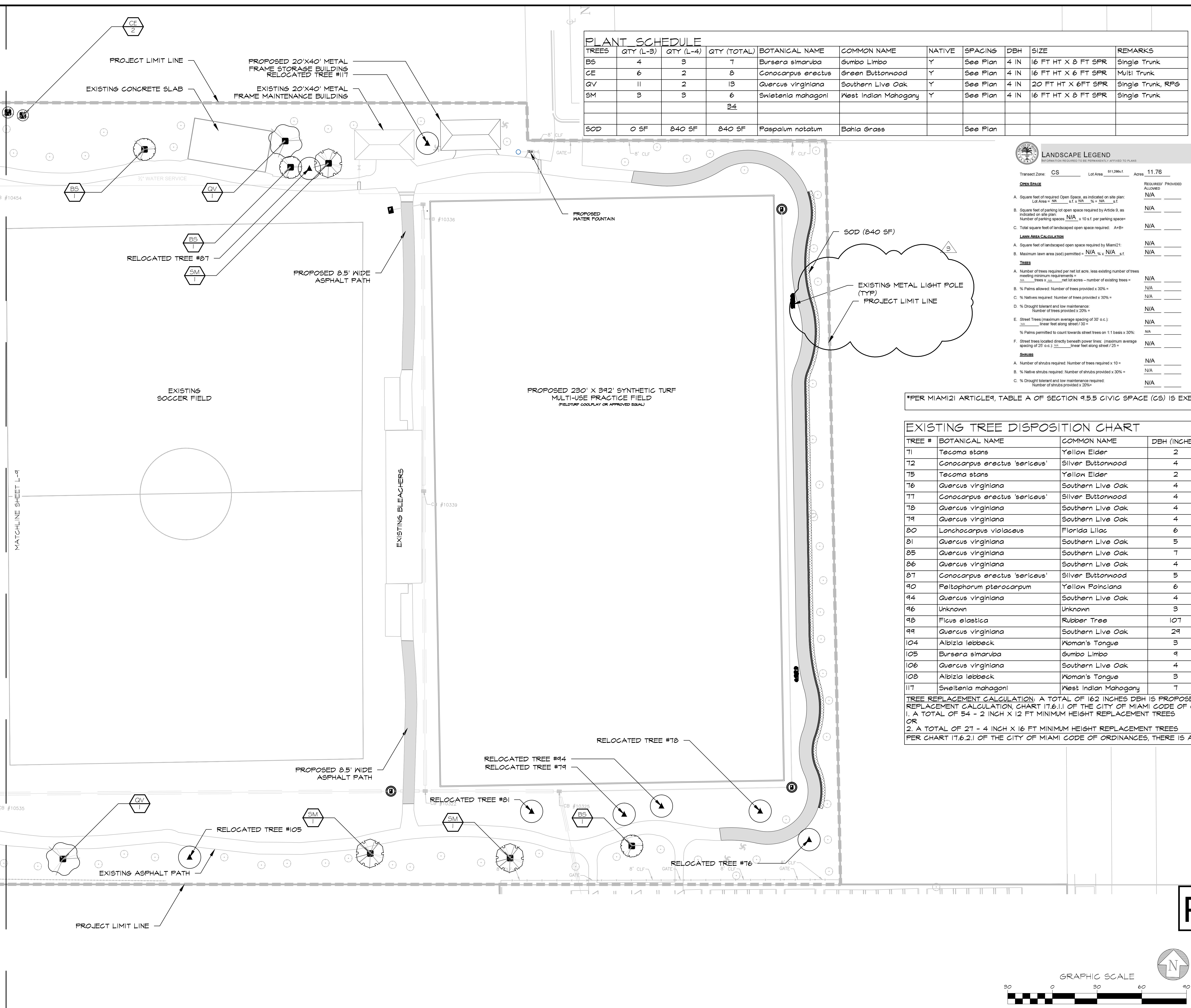
**KEITH and SCHNARS, P.A.**  
FLORIDA'S Big LOCAL FIRM  
LCC-000137  
6500 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FL 33308-2132 (954)776-1616

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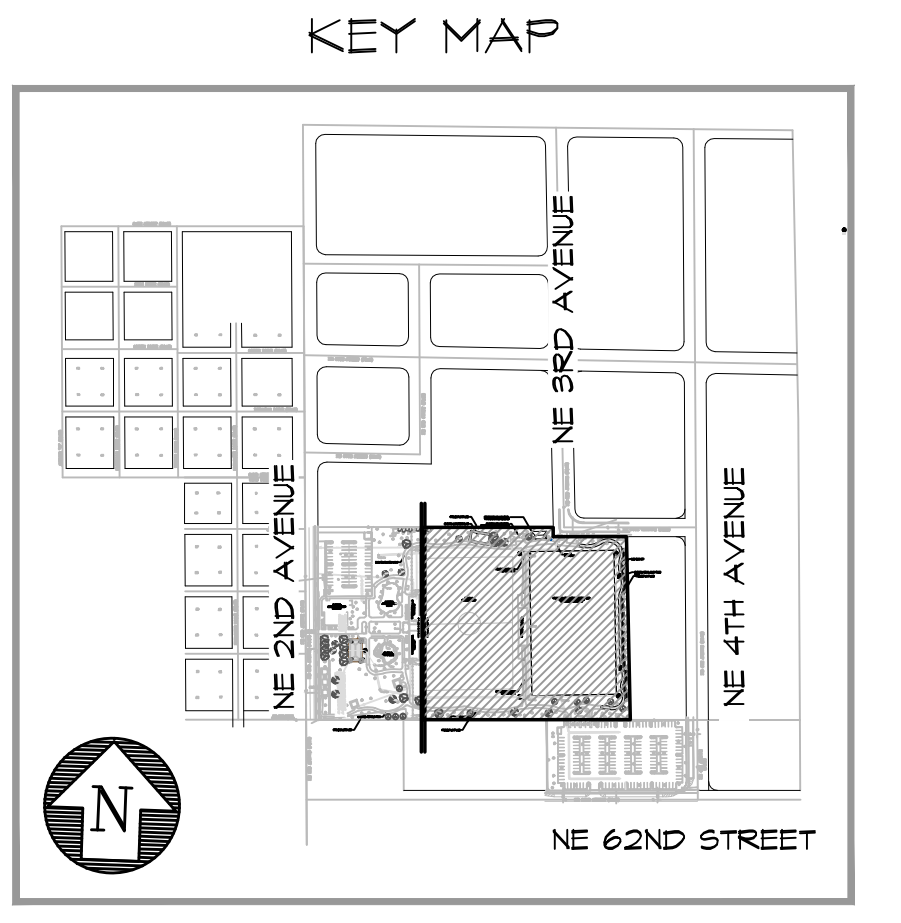
MATCHLINE SHEET L-1



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TREES	QTY (L-3)	QTY (L-4)	QTY (TOTAL)	BOTANICAL NAME	COMMON NAME	NATIVE	SPACING	DBH	SIZE	REMARKS
BS	4	3	7	Bursera simaruba	Gumbo Limbo	Y	See Plan	4 IN	16 FT HT X 8 FT SPR	Single Trunk
CE	6	2	8	Conocarpus erectus	Green Buttonwood	Y	See Plan	4 IN	16 FT HT X 6 FT SPR	Multi Trunk
QV	11	2	13	Quercus virginiana	Southern Live Oak	Y	See Plan	4 IN	20 FT HT X 6 FT SPR	Single Trunk, RP6
SM	3	3	6	Sweetenia mahagoni	West Indian Mahogany	Y	See Plan	4 IN	16 FT HT X 8 FT SPR	Single Trunk
			34							
SOD	0 SF	840 SF	840 SF	Paspalum notatum	Bahia Grass		See Plan			



**LANDSCAPE LEGEND**  
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Transect Zone: CS Lot Area: 841,264.1 Acres: 11.76

**OPEN SPACE**

A. Square feet of required Open Space, as indicated on site plan:  
Lot Area =  $N \times W$  s.f. x  $N \times W$  s.f. =  $N \times W$  s.f.  
Required/Provided: N/A

B. Square feet of parking lot open space required by Article 9, as indicated on site plan:  
Number of parking spaces: N/A x 10 s.f. per parking space = N/A  
Required/Provided: N/A

C. Total square feet of landscaped open space required: A+B = N/A

**LAWN AREA CALCULATION**

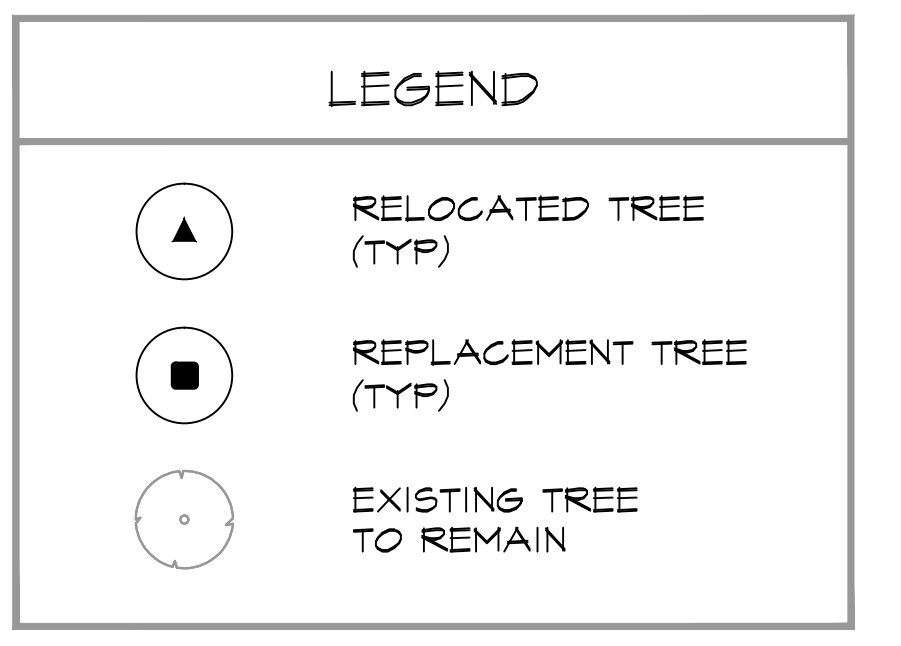
A. Square feet of landscaped open space required by Miami 21: N/A  
B. Maximum lawn area (sod) permitted =  $N/A \times N/A$  s.f. = N/A

**TREES**

A. Number of trees required per net lot acre, less existing number of trees meeting minimum requirements = N/A  
B. % Palms allowed: Number of trees provided x 30% = N/A  
C. % Natives required: Number of trees provided x 30% = N/A  
D. % Drought tolerant and low maintenance: Number of trees provided x 20% = N/A  
E. Street Trees (maximum average spacing of 30' o.c.):  
 $\frac{\text{Linear feet along street}}{30}$  = N/A  
F. Street trees located directly beneath power lines: (maximum average spacing of 25' o.c.)  
 $\frac{\text{Linear feet along street}}{25}$  = N/A

**SHRUBS**

A. Number of shrubs required: Number of trees required x 10 = N/A  
B. % Native shrubs required: Number of shrubs provided x 30% = N/A  
C. % Drought tolerant and low maintenance required: Number of shrubs provided x 20% = N/A

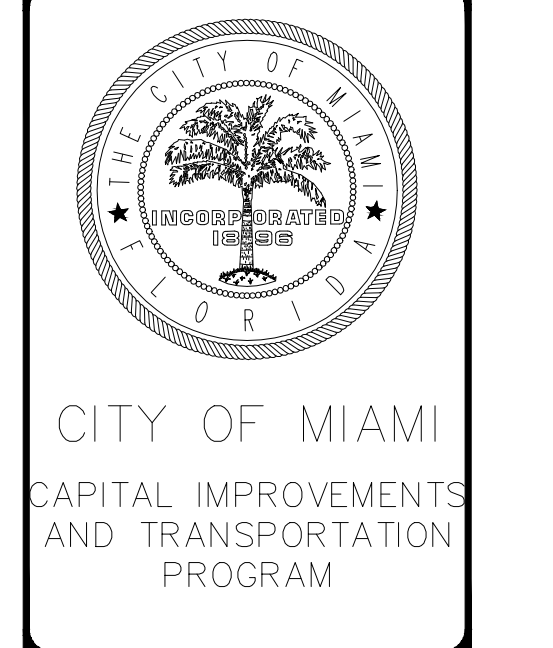


\*PER MIAMI 21 ARTICLE 9, TABLE A OF SECTION 9.5.5 CIVIC SPACE (CS) IS EXEMPT FROM MEETING REQUIREMENTS.

**EXISTING TREE DISPOSITION CHART**

TREE #	BOTANICAL NAME	COMMON NAME	DBH (INCHES)	HEIGHT (FEET)	CANOPY (FEET)	DISPOSITION
71	Tecoma stans	Yellow Elder	2	15	10	REMOVE
72	Conocarpus erectus 'sericeus'	Silver Buttonwood	4	15	8	RELOCATE
75	Tecoma stans	Yellow Elder	2	7	7	REMOVE
76	Quercus virginiana	Southern Live Oak	4	17	6	RELOCATE
77	Conocarpus erectus 'sericeus'	Silver Buttonwood	4	16	10	RELOCATE
78	Quercus virginiana	Southern Live Oak	4	23	12	RELOCATE
79	Quercus virginiana	Southern Live Oak	4	18	4	RELOCATE
80	Lanchoacarpus violaceus	Florida Lilac	6	19	25	REMOVE
81	Quercus virginiana	Southern Live Oak	5	21	9	RELOCATE
85	Quercus virginiana	Southern Live Oak	7	14	20	REMOVE
86	Quercus virginiana	Southern Live Oak	4	17	6	RELOCATE
87	Conocarpus erectus 'sericeus'	Silver Buttonwood	5	17	8	RELOCATE
90	Peltophorum pterocarpum	Yellow Poinciana	6	21	25	REMOVE
94	Quercus virginiana	Southern Live Oak	4	20	7	RELOCATE
96	Unknown	Unknown	3	18	7	REMOVE
98	Ficus elastica	Rubber Tree	107	47	60	REMOVE
99	Quercus virginiana	Southern Live Oak	29	39	50	REMOVE
104	Albizia lebbek	Woman's Tongue	3	8	6	REMOVE
105	Bursera simaruba	Gumbo Limbo	4	21	14	RELOCATE
106	Quercus virginiana	Southern Live Oak	4	17	7	RELOCATE
108	Albizia lebbek	Woman's Tongue	3	16	5	REMOVE
117	Sweetenia mahagoni	West Indian Mahogany	7	22	10	RELOCATE

**TREE REPLACEMENT CALCULATION:** A TOTAL OF 162 INCHES DBH IS PROPOSED FOR REMOVAL. BASED ON THE CITY OF MIAMI TREE REPLACEMENT CALCULATION, CHART 17.6.1.1 OF THE CITY OF MIAMI CODE OF ORDINANCES, THE FOLLOWING IS REQUIRED.  
1. A TOTAL OF 54 - 2 INCH X 12 FT MINIMUM HEIGHT REPLACEMENT TREES  
OR  
2. A TOTAL OF 27 - 4 INCH X 16 FT MINIMUM HEIGHT REPLACEMENT TREES  
PER CHART 17.6.2.1 OF THE CITY OF MIAMI CODE OF ORDINANCES, THERE IS A REQUIRED MINIMUM OF 4 DIFFERENT TREE SPECIES.



LANDSCAPE PLAN & TREE DISPOSITION PLAN

LITTLE HAITI SOCCER PARK  
(EXISTING SOCCER PRACTICE FIELD IMPROVEMENTS AND ASSOCIATED AMENITIES)

6800 NE 4 AVENUE  
MIAMI, FL 33138

DATE: 04/20/2016  
DESIGN: Christopher Miller  
DRAWN: CM / JN  
CHECKED: CM  
REVISIONS:

- 1 08/10/2016 JN REVISIONS PER CITY REVIEW COMMENTS
- 2 08/23/2016 JN REMOVED MAINTENANCE NOTES PER CITY
- 3 09/01/2017 JN REVISIONS PER CITY REVIEW COMMENTS

JOB No. B-40516  
FILE:

ARCHITECT/ENGINEER:  
CHRISTOPHER MILLER  
Landscape Architect  
LA# 6666910

SEAL

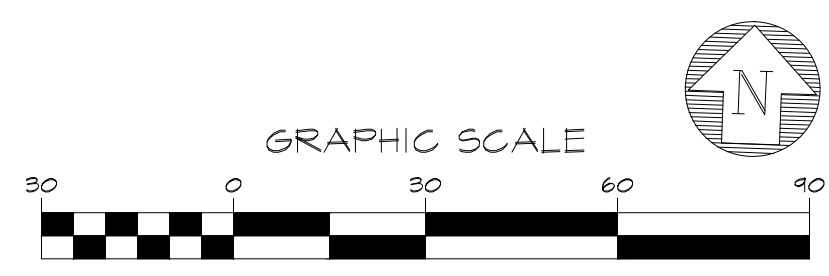
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SHEET No.  
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OF # SHEETS ##

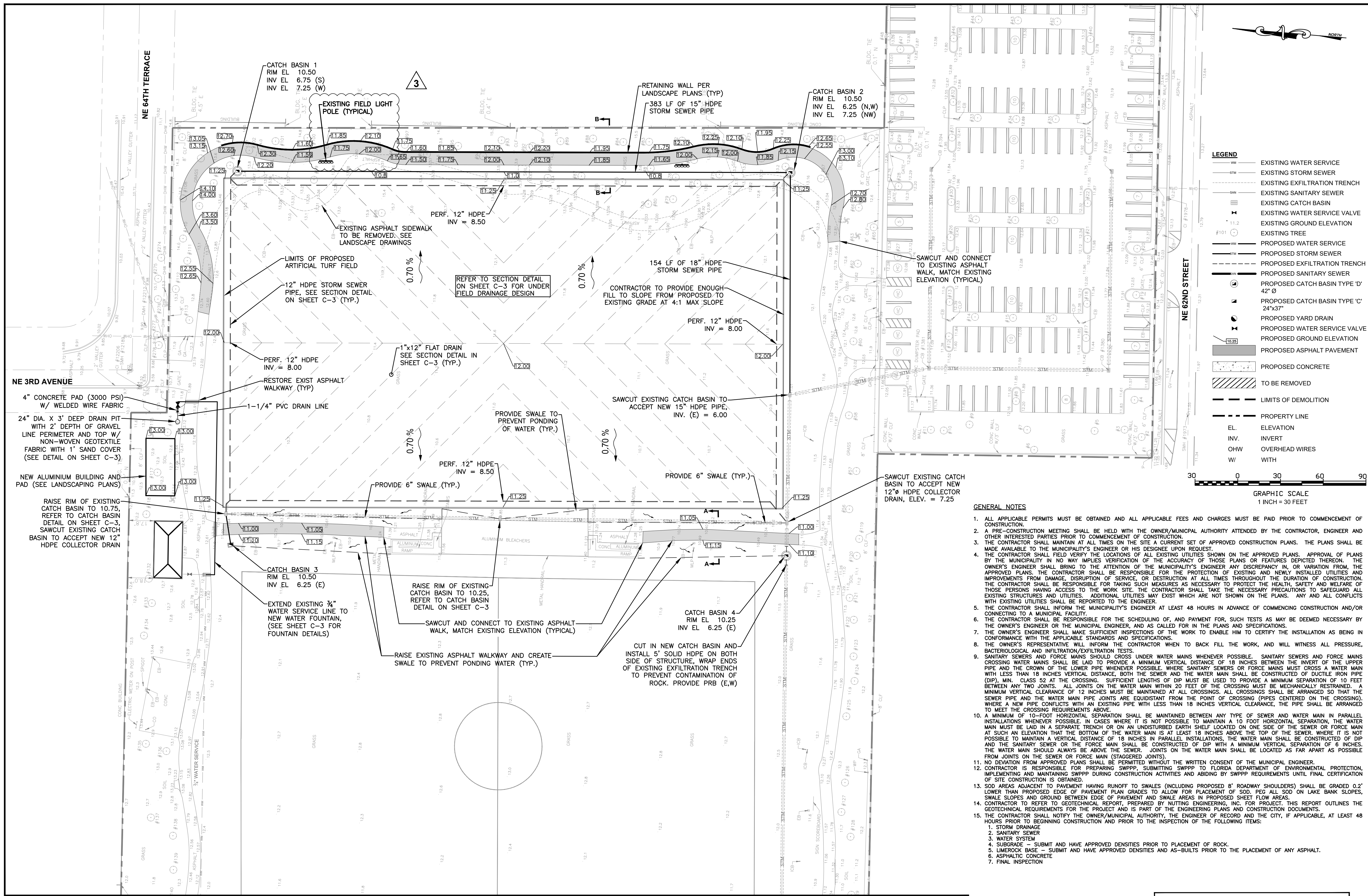
**PERMIT SET**

**KEITH and SCHNARS, P.A.**  
FLORIDA'S Big LOCAL FIRM

6500 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FL 33308-2132 (954)776-1616  
LCC-000137







MATCHLINE SHEET C - 2

**PERMIT SET**

**KEITH and SCHNARS, P.A.**  
 FLORIDA'S *Big* LOCAL FIRM  
 LCC-000137  
 6500 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FL 33309-2125 (954)776-1616

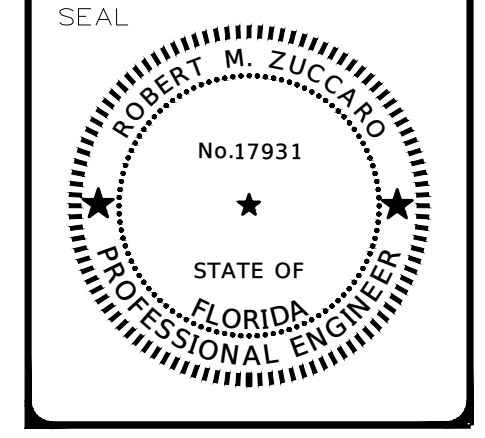


PAVING, GRADING, DRAINAGE, AND WATER PLAN  
 LITTLE HAITI SOCCER PARK  
 (EXISTING SOCCER PRACTICE FIELD IMPROVEMENTS AND ASSOCIATED AMENITIES)

DATE: 11/13/2015  
 DESIGN: JDH  
 DRAWN: AA  
 CHECKED: AA  
 REVISIONS:  
 1. 8/10/2016 Revs per City review comments  
 2. 3/31/2017 Revs per City review comments

JOB No. B-40516  
 FILE:

ARCHITECT/ENGINEER:  
 ROBERT M. ZUCCARO  
 PROFESSIONAL ENGINEER  
 PE# 17931



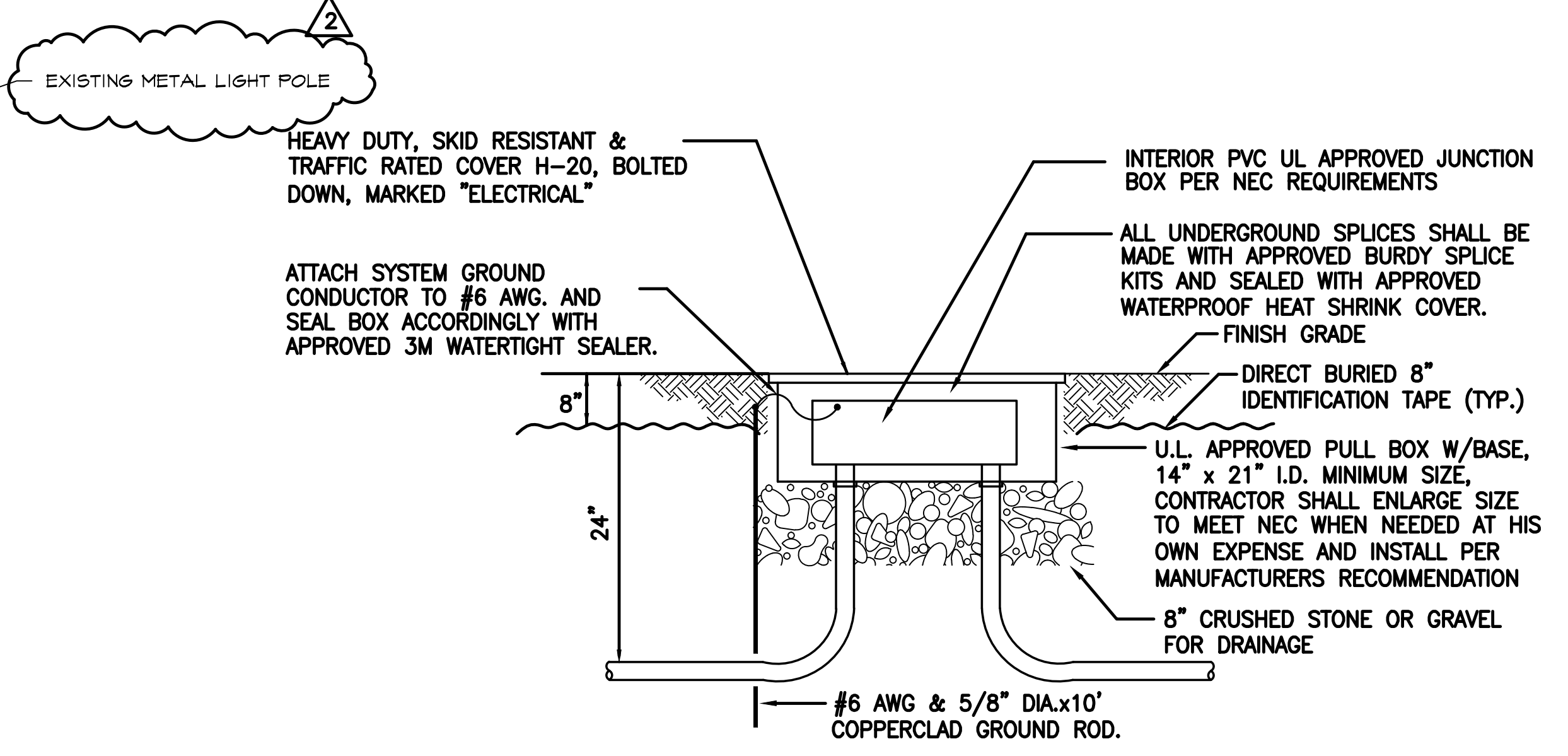
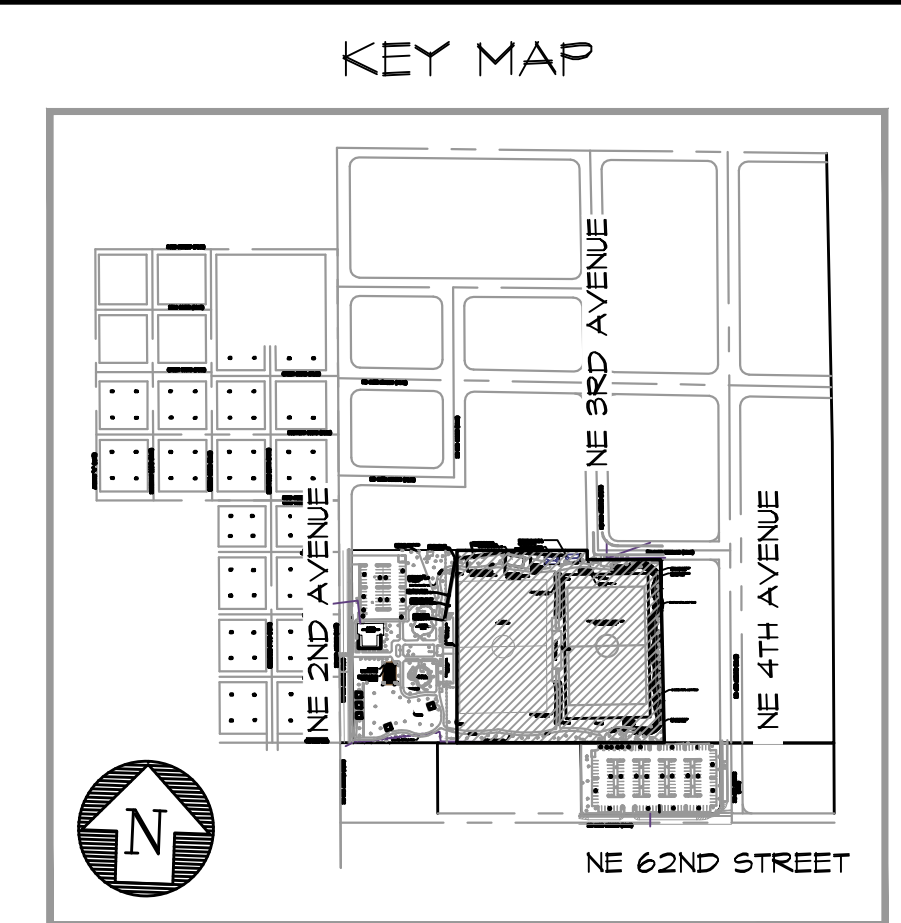
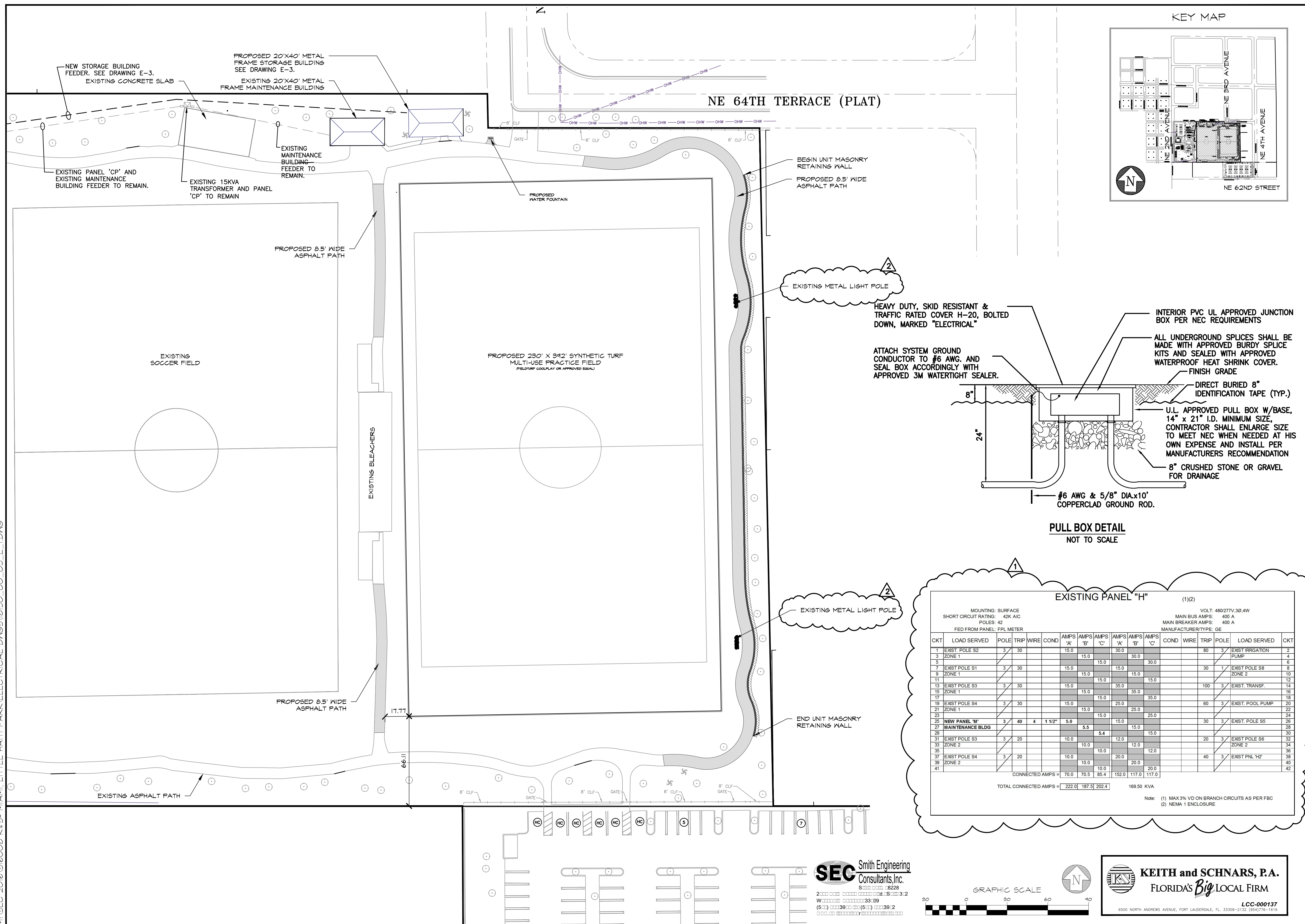
SCALE: AS SHOWN

SHEET No.  
 C-1  
 OF 1 SHEETS 8

- GENERAL NOTES**
1. ALL APPLICABLE PERMITS MUST BE OBTAINED AND ALL APPLICABLE FEES AND CHARGES MUST BE PAID PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  2. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER/MUNICIPAL AUTHORITY ATTENDED BY THE CONTRACTOR, ENGINEER AND OTHER INTERESTED PARTIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  3. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ON THE SITE A CURRENT SET OF APPROVED CONSTRUCTION PLANS. THE PLANS SHALL BE MADE AVAILABLE TO THE MUNICIPALITY'S ENGINEER OR HIS DESIGNEE UPON REQUEST.
  4. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE APPROVED PLANS. APPROVAL OF PLANS BY THE MUNICIPALITY IN NO WAY IMPLIES VERIFICATION OF THE ACCURACY OF THOSE PLANS OR FEATURES DEPICTED THEREON. THE OWNER'S ENGINEER SHALL BRING TO THE ATTENTION OF THE MUNICIPALITY'S ENGINEER ANY DISCREPANCY IN, OR VARIATION FROM, THE APPROVED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND IMPROVEMENTS FROM DAMAGE, DISRUPTION OF SERVICE, OR DESTRUCTION AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. ANY AND ALL CONFLICTS WITH EXISTING UTILITIES SHALL BE REPORTED TO THE ENGINEER.
  5. THE CONTRACTOR SHALL INFORM THE MUNICIPALITY'S ENGINEER AT LEAST 48 HOURS IN ADVANCE OF COMMENCING CONSTRUCTION AND/OR CONNECTING TO A MUNICIPAL FACILITY.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF, AND PAYMENT FOR, SUCH TESTS AS MAY BE DEEMED NECESSARY BY THE OWNER'S ENGINEER OR THE MUNICIPAL ENGINEER, AND AS CALLED FOR IN THE PLANS AND SPECIFICATIONS.
  7. THE OWNER'S ENGINEER SHALL MAKE SUFFICIENT INSPECTIONS OF THE WORK TO ENABLE HIM TO CERTIFY THE INSTALLATION AS BEING IN CONFORMANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS.
  8. THE OWNER'S REPRESENTATIVE WILL INFORM THE CONTRACTOR WHEN TO BACK FILL THE WORK, AND WILL WITNESS ALL PRESSURE, BACTERIOLOGICAL AND INFILTRATION/EXFILTRATION TESTS.
  9. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE. WHERE SANITARY SEWERS OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP), MIN. CLASS 52 AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 12 INCHES MUST BE MAINTAINED AT ALL CROSSINGS. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING), WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
  10. A MINIMUM OF 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL SEPARATION OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
  11. NO DEVIATION FROM APPROVED PLANS SHALL BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE MUNICIPAL ENGINEER.
  12. CONTRACTOR IS RESPONSIBLE FOR PREPARING SWPPP, SUBMITTING SWPPP TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, IMPLEMENTING AND MAINTAINING SWPPP DURING CONSTRUCTION ACTIVITIES AND ABIDING BY SWPPP REQUIREMENTS UNTIL FINAL CERTIFICATION OF SITE CONSTRUCTION IS OBTAINED.
  13. SOD AREAS ADJACENT TO PAVEMENT HAVING RUNOFF TO SWALES (INCLUDING PROPOSED 8" ROADWAY SHOULDERS) SHALL BE GRADED 0.2' LOWER THAN PROPOSED EDGE OF PAVEMENT PLAN GRADES TO ALLOW FOR PLACEMENT OF SOD. PEG ALL SOD ON LAKE BANK SLOPES, SWALE SLOPES AND GROUND BETWEEN EDGE OF PAVEMENT AND SWALE AREAS IN PROPOSED SHEET FLOW AREAS.
  14. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT, PREPARED BY NUTTING ENGINEERS, INC. FOR PROJECT. THIS REPORT OUTLINES THE GEOTECHNICAL REQUIREMENTS FOR THE PROJECT AND IS PART OF THE ENGINEERING PLANS AND CONSTRUCTION DOCUMENTS.
  15. THE CONTRACTOR SHALL NOTIFY THE OWNER/MUNICIPAL AUTHORITY, THE ENGINEER OF RECORD AND THE CITY, IF APPLICABLE, AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:  
 1. STORM DRAINAGE  
 2. SANITARY SEWER  
 3. WATER SYSTEM  
 4. SUBGRADE - SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.  
 5. LIMEROCK BASE - SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.  
 6. ASPHALTIC CONCRETE  
 7. FINAL INSPECTION



M:\SEC 2016\160008 K&S- MIAMI LITTLE HAITI PARK\ELECTRICAL DWGS\BIBO\_00\_03\_E\_1.DWG



**EXISTING PANEL "H" (1)(2)**

MOUNTING: SURFACE  
SHORT CIRCUIT RATING: 42K AIC  
POLES: 42  
FED FROM PANEL: FPL METER

VOLT: 480/277V, 3Ø, 4W  
MAIN BUS AMPS: 400 A  
MAIN BREAKER AMPS: 400 A  
MANUFACTURER/TYP: GE

CKT	LOAD SERVED	POLE	TRIP	WIRE	COND	AMPS			AMPS			COND	WIRE	TRIP	POLE	LOAD SERVED	CKT			
						'A'	'B'	'C'	'A'	'B'	'C'									
1	EXST. POLE S2	3	30			15.0			30.0				80	3		EXIST IRRIGATION	2			
3	ZONE 1						15.0			30.0						PUMP	4			
5								15.0			30.0						6			
7	EXST POLE S1	3	30			15.0			15.0		15.0		30	1		EXIST POLE S8	8			
9	ZONE 1							15.0			15.0					ZONE 2	10			
11									15.0		15.0						12			
13	EXST POLE S3	3	30			15.0			35.0		35.0		100	3		EXIST. TRANSF.	14			
15	ZONE 1							15.0			35.0						16			
17									15.0		35.0						18			
19	EXST POLE S4	3	30			15.0			25.0		25.0		60	3		EXIST. POOL PUMP	20			
21	ZONE 1							15.0			25.0						22			
23									15.0		25.0						24			
25	NEW PANEL 'M'	3	40	4	1 1/2"	5.0			5.5		15.0		30	3		EXIST POLE S5	26			
27	MAINTENANCE BLDG	3	40	4	1 1/2"	5.0			5.5		15.0		30	3			28			
29									5.4		15.0						30			
31	EXST POLE S3	3	20			10.0			12.0		12.0		20	3		EXIST POLE S6	32			
33	ZONE 2							10.0			12.0					ZONE 2	34			
35								10.0			12.0						36			
37	EXST POLE S4	3	20			10.0			20.0		20.0		40	3		EXIST PNL 'H2'	40			
39	ZONE 2							10.0			20.0						42			
41								10.0			20.0									
CONNECTED AMPS =						70.0	70.5	85.4	152.0	117.0	117.0									
TOTAL CONNECTED AMPS =						222.0	187.5	202.4	169.50 KVA											

Note: (1) MAX 3% VD ON BRANCH CIRCUITS AS PER FBC  
(2) NEMA 1 ENCLOSURE



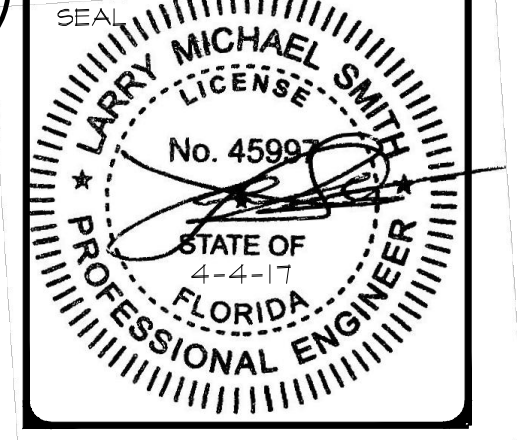
ELECTRICAL SITE PLAN

LITTLE HAITI SOCCER PARK  
(EXISTING SOCCER PRACTICE FIELD IMPROVEMENTS AND ASSOCIATED AMENITIES)

DATE: 03/18/2016  
DESIGN: S. Hockman  
DRAWN: SPH  
CHECKED: JER  
REVISIONS:  
1 BUILDING DEPT. COMMENTS 6/6/16  
2 BUILDING DEPT. COMMENTS 4/4/17

JOB No. B-40516  
FILE:

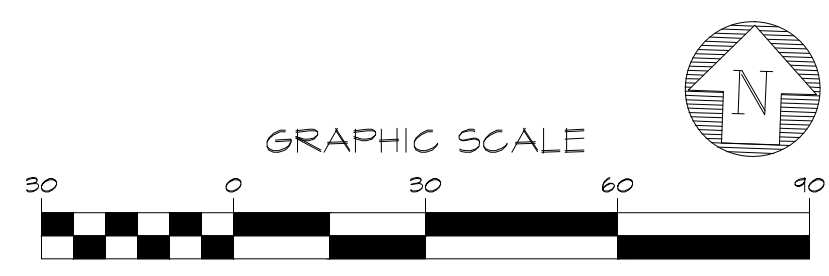
ARCHITECT/ENGINEER:  
LARRY M. SMITH  
Electrical Engineer  
FLA. PE# 45417



SCALE: AS SHOWN

SHEET No.  
**E-2**  
OF # SHEETS ##

**SEC** Smith Engineering  
Consultants, Inc.  
S: 8228  
W: 33-09  
(5) 39-2



**KEITH and SCHNARS, P.A.**  
FLORIDA'S Big LOCAL FIRM  
LCC-000137  
6500 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FL 33308-2132 (954) 776-1616